

**PLANNING & ZONING MEETING AGENDA**  
**Thursday, January 16, 2025 | 6:00 p.m.**  
**Eldridge City Hall | 305 N 3<sup>rd</sup> Street**

1. Call to Order and Roll Call
  2. Approval of the Minutes from the December 19, 2024, Meeting
  3. Consideration of approval of Final Plat of Lancers Run Addition
  4. Consideration of approval of the Development Plans for Lancers Run Addition
  5. Adjournment
- Next Meeting: TBD



**Eldridge Planning and Zoning Commission  
December 19, 2024, 6:00 p.m., Eldridge City Hall**

**Minutes**

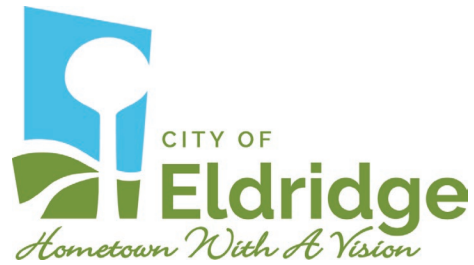
The Eldridge Plan and Zone Commission met in open session in Eldridge City Hall at 6:00 p.m. on December 19, 2024. The meeting was called to order at 6:02 p.m. by Chairman Karl Donaubaauer. Present were Karl Donaubaauer, Jennifer Vittorio, Dean Ferguson, Brad Merrick and Scott LaPlante. Mike Martin was absent. Also present were Jeff Martens, Brian Dockery and Dale Grunwald.

The minutes from the November 14, 2024, meeting was presented for approval. Donaubaauer corrected the spelling on a name and Martin had called in an additional comment that he had made during the meeting and asked it be added. Motion by Merrick to approve the minutes as amended. Seconded by Ferguson. Motion carried 5-0 by voice vote.

Donaubaauer asked Martens to present the application and Planned Residential Overlay plat for Grunwald Grove 2<sup>nd</sup> Addition. Martens presented the request and confirmed that it was substantially in accordance with City Code. Merrick asked the developer a few clarifying questions. LaPlante made a motion to approve the overlay plat. Vittorio seconded the motion. The motion carried 5-0 by voice vote.

Martens presented a revised draft solar ordinance for review by the Commission. Martens confirmed that the staff had done a final review and an inquiry had been made to the City Attorney about adding "Solar Farms" as prohibited use in the I-2 General Industrial District. The City Attorney had confirmed that the language in the I-2 permitted use section allowed for exclusions to be made to uses in I-1 districts. Martens also said that he had become aware that solar ordinances in Missouri had been adding clauses to charge surcharge fees to solar farms per megawatt hour per year through a conversation he had with Councilman Dockery. The commission discussed this and came to a consensus that this would be a good addition to the ordinance. Ferguson made a motion to recommend approval of the ordinance with the addition of a yearly surcharge per megawatt hour at the discretion of the City Council set by resolution. Merrick seconded. Motion carried 5-0 by voice vote.

LaPlante made a motion to adjourn the meeting at 6:42 p.m. Seconded by Merrick. Motion carried 5-0 by voice vote.



To: Planning and Zoning Commission  
From: Jeff Martens, Assistant City Administrator  
Re: Lancers Run Addition  
Date: 1/16/25

The North Scott School District has submitted the attached Final Plat Application, Final Plat and Development Plan along with fees for your consideration.

The City Staff and City Engineer has reviewed the final plant and finds it to be substantially in accordance with City Code and recommends approval.

That City Staff and City Engineer has reviewed the Development Plan and finds it to be substantially in accordance with City Code and recommends approval.



# Final Plat Application - City of Eldridge

Name of Subdivision: Lancers Run Subdivision

Number of lots in subdivision: 17 + 1 Outlot Current Zoning: R-1 & R-2

Who should be contacted regarding this plat: Townsend Engineering  
Phone Number: 563-386-4236  
Email Address: chris@townsendengineering.net

Name of Developer: North Scott Community School District  
Developer's contact: Joe Stutting  
Address: 208 S. 5th St., Eldridge, IA 52748  
Phone Number: 563-285-9081  
Email Address: joe.stutting@north-scott.k12.ia.us

Name of Engineer preparing construction drawings: Chris Townsend of Townsend Engineering  
Address: 2224 E. 12th St., Davenport, IA 52803  
Phone Number: 563-386-4236  
Email Address: chris@townsendengineering.net

Name of land surveyor preparing plat: Jerry D. Rogers of Townsend Engineering  
Address: 2224 E. 12th St., Davenport, IA 52803  
Phone Number: 563-386-4236  
Email Address: kevin@townsendengineering.net

Name of person preparing legal documents: Eric Hartmann of Lane & Waterman LLP  
Address: 220 N. Main St., Ste. 600, Davenport, IA 52801  
Phone Number: 563-324-3246  
Email Address: ehartmann@l-wlaw.com

Filing fee included with this application: \$ 100

- The following shall be filed with this application:
- A. Ten (10) copies of the final plat
  - B. One (1) copy reduced to 11x17
  - C. Four (4) copies of the construction drawings
  - D. Two (2) copies of the legal documents
  - E. Filing Fee
  - F. One (1) PDF copy of the final plat and construction drawings

Filing Fee Paid \$ 100

Date Filed: 12-31-2024

LANCERS RUN SUBDIVISION

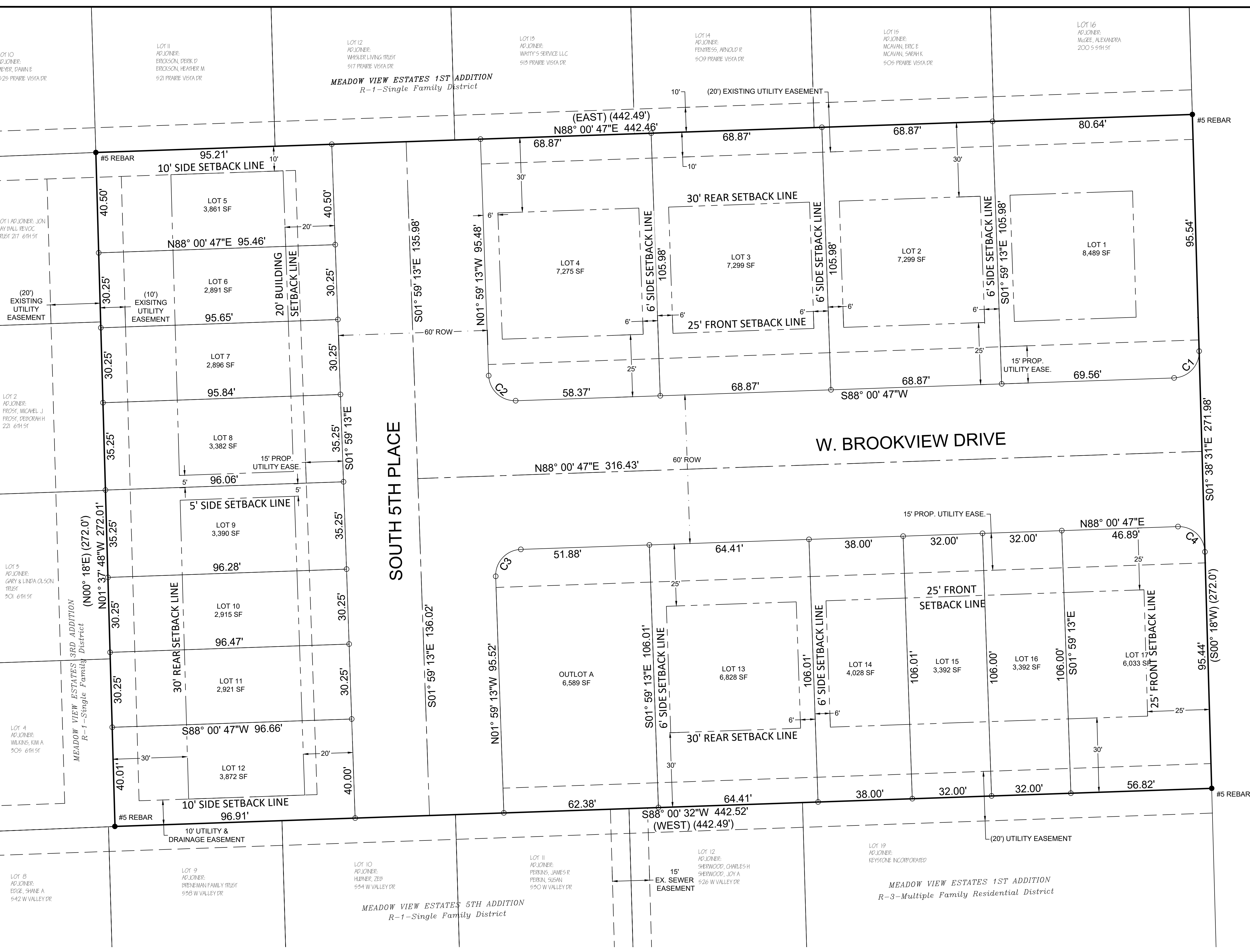
BEING A REPLAT OF LOTS 17 & 18 AND VACATED BROOKVIEW DRIVE IN MEADOW ESTATES 1ST ADDITION AND PART OF THE NORTHEAST QUARTER OF SECTION 15, TOWNSHIP 79 NORTH, RANGE 3 EAST OF THE 5TH P.M., CITY OF ELDRIDGE, SCOTT COUNTY, IOWA.

- 1. Area of Subdivision - Total: 120,352 S.F., or 2.763 Acres +/-
2. Owner: North Scott Community School District
3. Surveyor: Jerry D. Rogers
4. Attorney: Lane & Waterman LLP

- NOTES
1. ALL STREET RIGHTS OF WAY TO BE DEDICATED TO THE CITY OF ELDRIDGE.
2. SIDEWALKS WILL BE INSTALLED ON THE LOTS AT THE TIME OF HOME CONSTRUCTION.
3. ALL LOTS WILL BE CONNECTED TO THE PUBLIC WATER SUPPLY SYSTEM OF ELDRIDGE.
4. AN UNDERGROUND UTILITY EASEMENT ACROSS THE FRONT OF ALL LOTS TO BE GRANTED TO THE CITY OF ELDRIDGE, IOWA AND TO OTHER PUBLIC UTILITY COMPANIES.

APPROVED BY: CITY OF ELDRIDGE, IOWA
BY:
DATE:
ATTEST:
CITY PLAN & ZONE COMMISSION
BY:
DATE:
MIDAMERICAN ENERGY
APPROVED SUBJECT TO ENCUMBRANCES OF RECORD BY MIDAMERICAN
DATE:
CITY OF ELDRIDGE
ELECTRIC & WATER UTILITY
DATE:
CENTRAL SCOTT TELEPHONE CO.
DATE:
MEDIACOM
DATE:

PREPARED BY / RETURN TO: Townsend Engineering, 2224 E. 12th Street, Davenport, Iowa 52803 (563) 386-4236



LEGEND:
DEED DIMENSION = (0.00')
FIELD DIMENSION = 0.00'
MONUMENTS FOUND:
AS NOTED =
MONUMENTS SET:
#5 REBAR W/ PINK CAP #8860 =
BOUNDARY LINE =
FENCE LINE =
EASEMENT LINE =
SETBACK LINE =

THE MEASURED BEARINGS SHOWN HEREON ARE BASED ON THE US STATE PLANE COORDINATE SYSTEM, IOWA SOUTH ZONE (1402) GEOID 12A, NAD 83 (2011) EPOCH 2010.00.

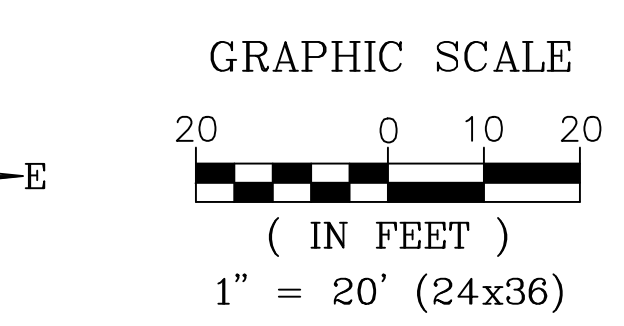


Table with 6 columns: Curve #, Length (ft), Radius (ft), Delta, Chord Length (ft), Chord Direction. Contains data for curves C1 through C4.



DATE: 12/12/2024
563 386.4236 office 386.4231 fax
2224 East 12th Street, Davenport, IA 52803

DRAWN BY: PAR
CHECKED BY: JDR
DRAWING LOCATION: S: NORTH SCOTT SCHOOLS/ 5TH STREET SUBDIVISION

Table with 3 columns: NO., REVISIONS: DESCRIPTION, DATE.

PROJECT: FINAL PLAT LANCERS RUN SUBDIVISION 208 5TH STREET ELDRIDGE, IA 52748

DEVELOPER: NORTH SCOTT SCHOOL DISTRICT 200 S 1ST STREET ELDRIDGE, IA 52748

SHEET NO.: 1 of 1

- SHEET INDEX:
- C0 - COVER SHEET
  - C1 - SITE PLAN
  - C2 - DEMOLITION PLAN
  - C3 - GRADING PLAN
  - C4 - UTILITY PLAN
  - C5 - C5.2 - WATER MAIN PLAN & PROFILE
  - C6 - ALIGNMENT AND CONTROL
  - C6.1 - C6.2 - ROADWAY AND SANITARY PLAN & PROFILE
  - C7 - C7.1 - STORM PLAN & PROFILE
  - C8 - C8.1 - EROSION CONTROL PLANS
  - C9 - ROADWAY DETAILS

# FINAL ENGINEERING PLANS FOR LANCERS RUN SUBDIVISION

AN ADDITION TO THE CITY OF ELDRIDGE, IOWA  
1/10/2025

OWNER / DEVELOPER  
North Scott School District  
200 S 1ST STREET  
Eldridge, IA 52748

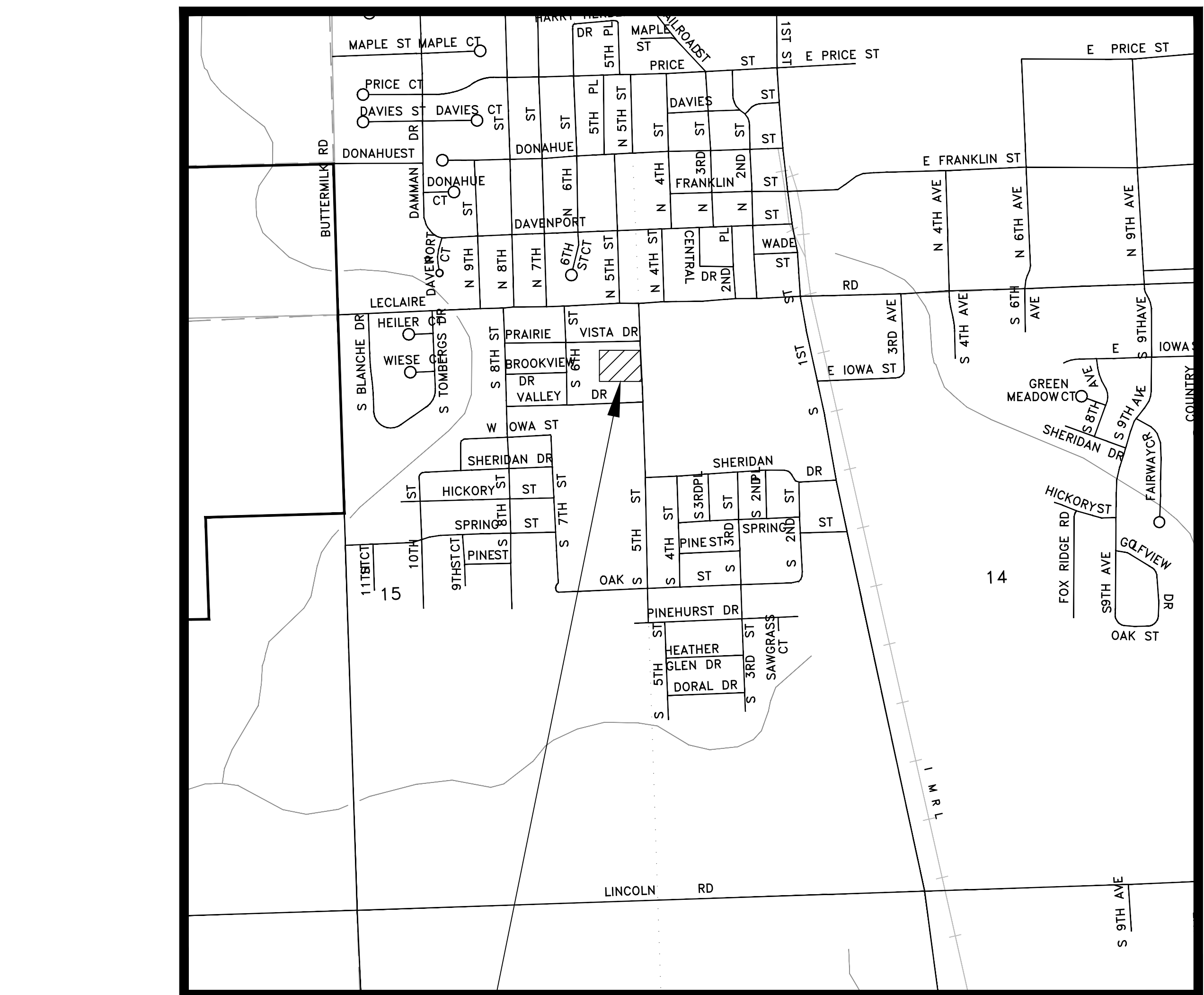
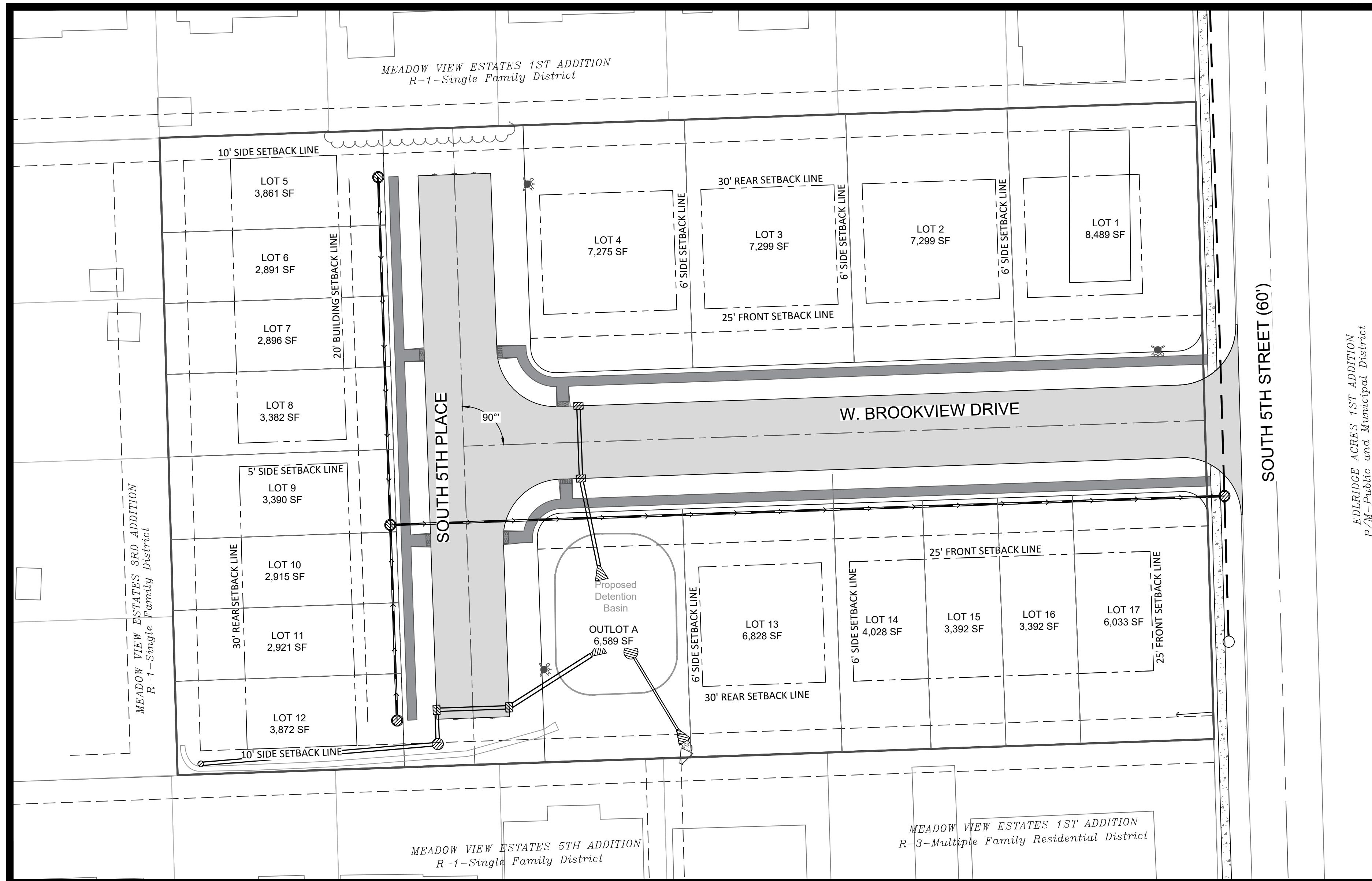
SURVEYOR  
Townsend Engineering  
2224 E. 12th Street  
Davenport, IA 52803  
(563) 386-4236

ENGINEER  
Townsend Engineering  
2224 E. 12th Street  
Davenport, IA 52803  
(563) 386-4236

ATTORNEY  
Lane & Waterman LLP  
220 N. Main Street, Suite 600  
Davenport, IA 52801  
(563) 324-3246

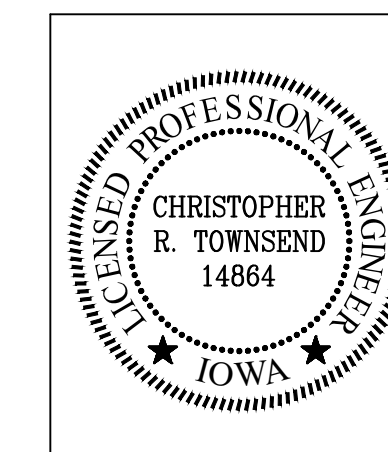
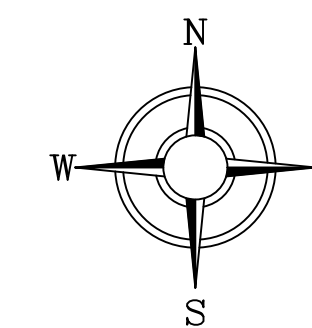
UTILITY CONTACTS

MidAmerican Energy-Gas 2811 5th Avenue Rock Island, IL 61201 (309) 793-3707	Eldridge - Water/Electric 305 N. 3rd Street Eldridge, IA 52748 (563) 285-4841
Century Link 3908 Utica Ridge Road Bettendorf, IA 52722 (563) 355-6402	MediaCom-Cable 3900 26th Avenue Moline, IL 61265 (309) 743-4750



APPROXIMATE SITE LOCATION

All sanitary sewer, storm sewer, water service and paving shall be completed in conformance with the current standards and specifications of the City of ELDRIDGE, Iowa



I hereby certify that this Engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.  
**1/10/2025**  
Date  
Christopher R. Townsend, P.E.  
License number: 14864  
My license renewal date is December 31, 2026.  
Pages or Sheets covered by this seal: **ALL CIVIL SHEETS**



DATE: 1/10/2025  
563 386.4236 office 386.4231 fax  
2224 East 12th Street, Davenport, IA 52803

DRAWN BY: PAR  
CHECKED BY: CRT  
DRAWING LOCATION  
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NO.	REVISIONS: DESCRIPTION	DATE

PROJECT COVER SHEET  
LANCERS RUN SUBDIVISION  
208 5TH STREET  
ELDRIDGE, IA 52748

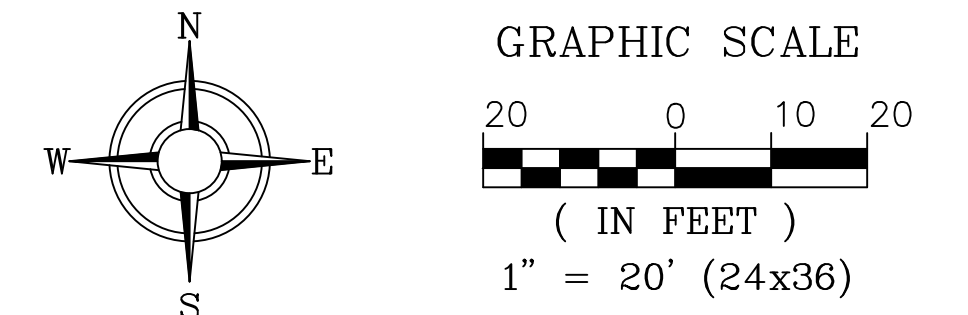
DEVELOPER  
NORTH SCOTT SCHOOL DISTRICT  
200 S 1ST STREET  
ELDRIDGE, IA 52748

SHEET NO.  
**C0**

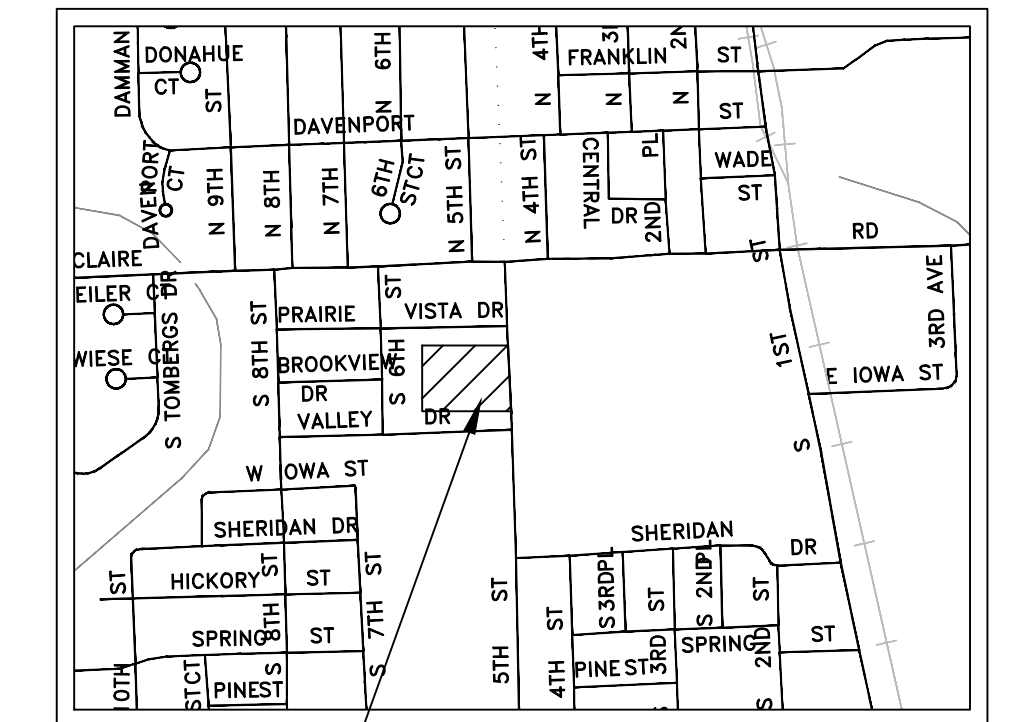
# NORTH SCOTT SCHOOL DISTRICT LANCERS RUN SUBDIVISION

TO THE CITY OF ELDRIDGE, IA

**R-3 Zoning Requirements**  
 Front Yard Setback: 25' Minimum  
 Side Yard Setback: 5' Minimum w/ Sum Not Less Than 12'  
 Rear Yard Setback: 30' Minimum



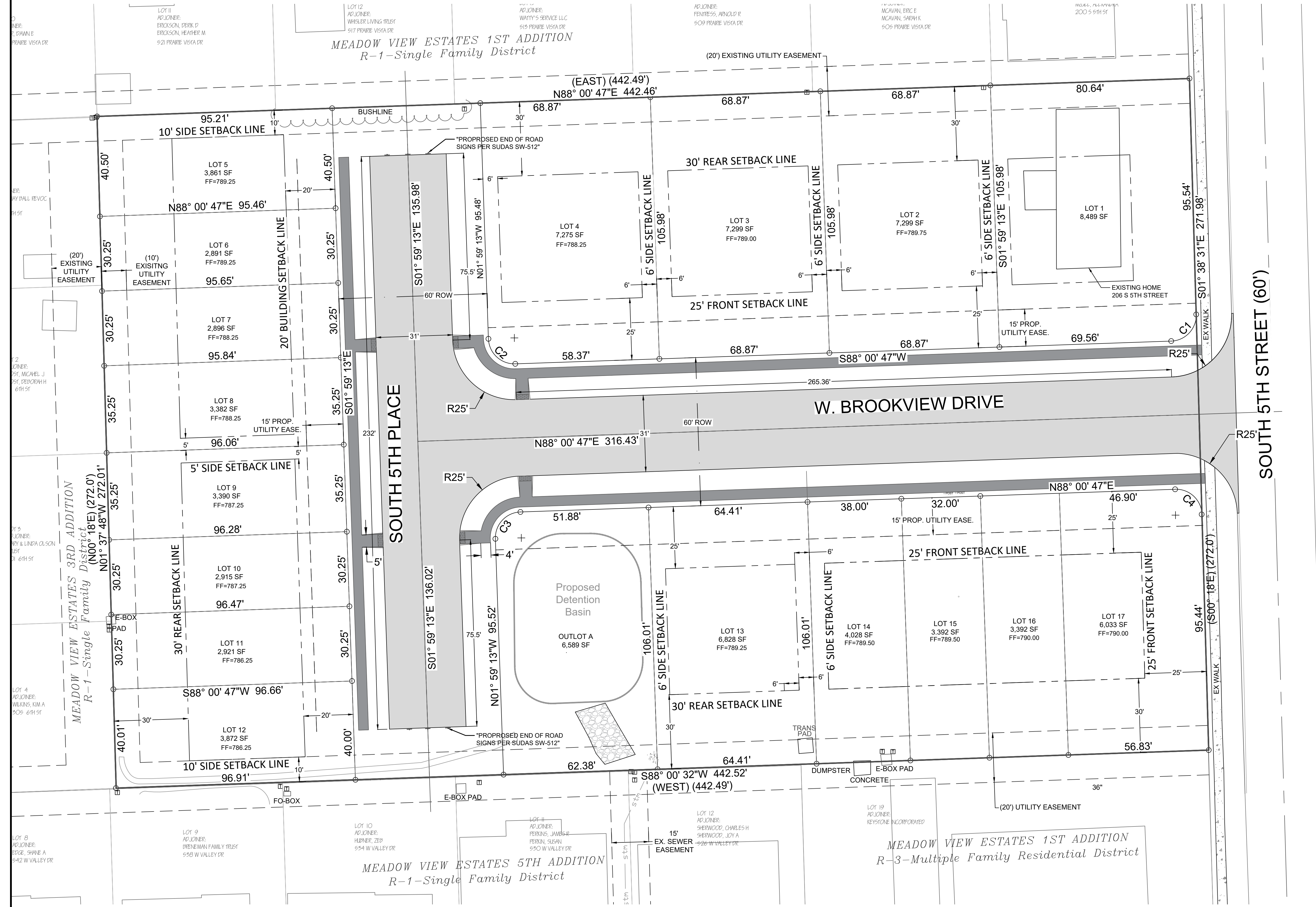
SITE LOCATION MAP



APPROXIMATE SITE LOCATION

**GENERAL NOTES**

- ALL IMPROVEMENTS SHOWN ON THESE ENGINEERING PLANS SHALL COMPLY WITH CITY SPECIFIC SPECIFICATIONS, AND THE STANDARDS OF THE IOWA DEPARTMENT OF NATURAL RESOURCES.
- LEGAL DESCRIPTION OF PROPERTY: MEADOW VIEW ESTATES 1ST ADD LOT: 018 MEADOW VIEW ESTATES LOT 18 & PT LOT 17 & PT NE (1.70) CONWN COR LOT 17 MEADOW VIEW ESTATES
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL EXISTING UTILITIES AND PAVED STREETS, INCLUDING ANY NOT SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER IF ANY CONFLICTS WITH THE DRAWINGS OCCUR. ANY DAMAGE TO EXISTING UTILITIES AND/OR PAVED STREETS CAUSED BY TRENCHING AND GRADING OPERATIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITY LOCATIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE.
- THE CONTRACTOR SHALL NOTIFY THE CITY OF ELDRIDGE AND THE ENGINEER 48 HOURS PRIOR TO COMMENCEMENT OF ANY WORK.
- PROVIDE POSITIVE DRAINAGE AT ALL TIMES WITHIN THE CONSTRUCTION AREAS. DO NOT ALLOW WATER TO DRAIN OR TO POND ONTO ADJOINING PROPERTY OR PUBLIC RIGHT-OF-WAY.
- ALL DEBRIS RESULTING FROM CONSTRUCTION OPERATIONS SHALL BE PROPERLY DISPOSED OF OFF-SITE.
- CONCRETE PAVEMENT SHALL CONFORM TO THE REQUIREMENTS OF IOWA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR HIGHWAYS AND BRIDGE CONSTRUCTION, SECTION 2301, PORTLAND CEMENT CONCRETE PAVEMENT. CONCRETE PAVEMENT WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF ELDRIDGE STANDARDS AND SPECIFICATIONS.
- ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL CONFORM TO THE IOWA CONSTRUCTION SITE EROSION CONTROL MANUAL, LATEST EDITION.
- NOTE: ALL DIMENSIONS ARE TO THE BACK OF CURB, UNLESS OTHERWISE NOTED.
- FINISHED FLOORS ELEVATIONS ARE APPROXIMATE AND SHALL BE DETERMINED BASED UPON ARCHITECTURAL DRAWINGS, ACTUAL SITE, AND INSTALL ROADWAY ELEVATIONS.
- CURB CUTS FOR CROSS WALKS SHALL BE COMPLETED WHEN STREET IS POURED.
- SUBDRAIN SHALL BE INSTALL PER ELDRIDGE TYPICAL STREET SECTION.
- SUMP PUMP MAINS SHALL BE INSTALL PER SUDAS 4040.231 CASE E, TYPE TWO.



EDLDRIDGE ACRES 1ST ADDITION  
P/M-Public and Municipal District



DATE: 12/31/2024  
 563 386.4236 office 386.4231 fax  
 2224 East 12th Street, Davenport, IA 52803

DRAWN BY: PAR  
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NO.	REVISIONS: DESCRIPTION	DATE

**PROJECT** SITE PLAN  
 LANCERS RUN SUBDIVISION  
 208 5TH STREET  
 ELDRIDGE, IA 52748

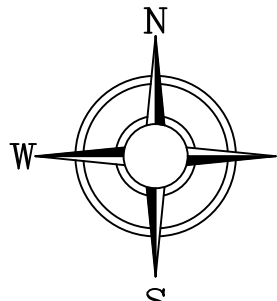
**DEVELOPER**  
 NORTH SCOTT SCHOOL DISTRICT  
 200 S 1ST STREET  
 ELDRIDGE, IA 52748

**SHEET NO.**  
**C1**

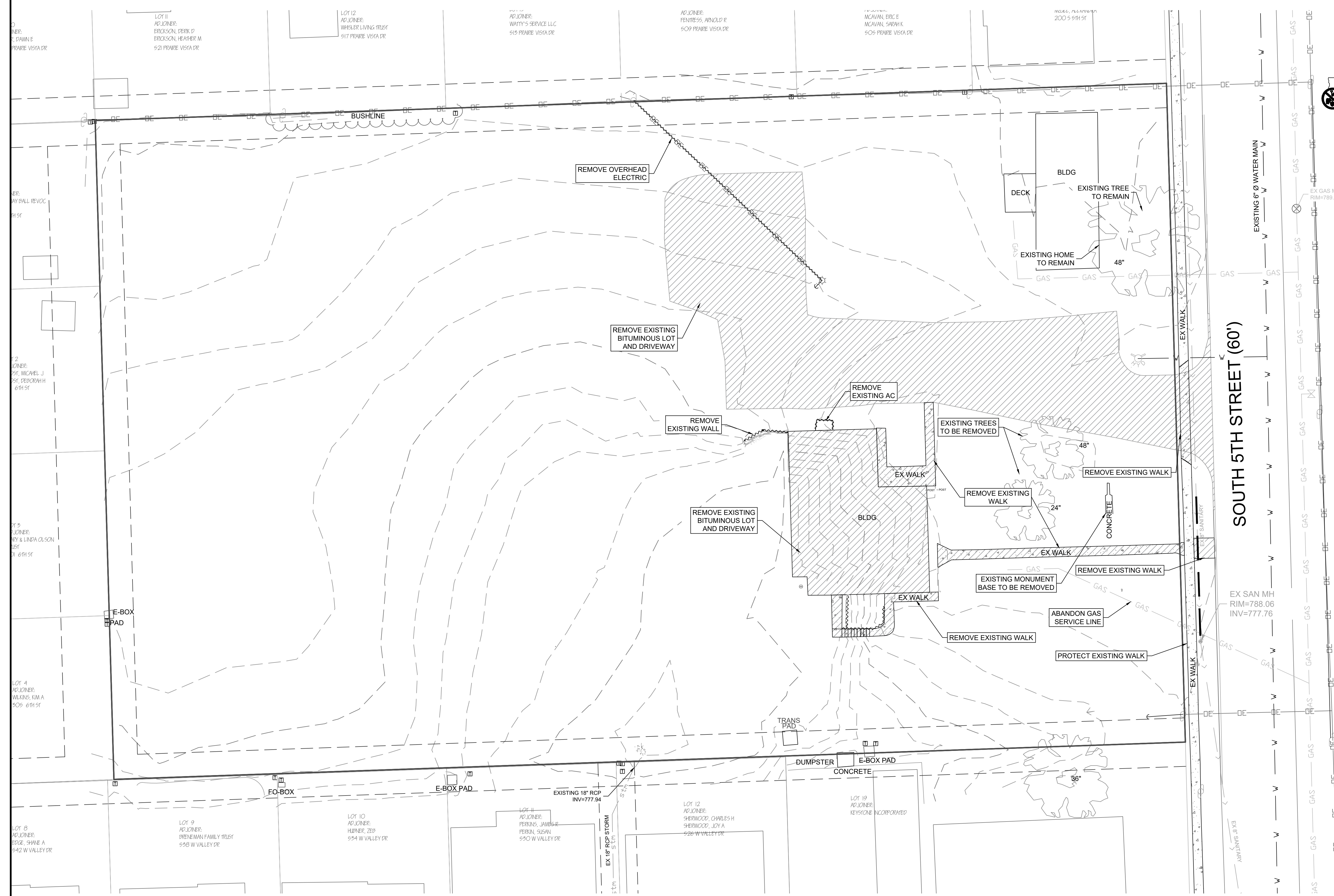
# NORTH SCOTT SCHOOL DISTRICT LANCERS RUN SUBDIVISION

TO THE CITY OF ELDRIDGE, IA

**IOWA ONE CALL**  
800.292.8869  
Call Before You Dig  
BEFORE YOU DIG



**GRAPHIC SCALE**  
20 0 10 20  
( IN FEET )  
1" = 20' (24x36)



- **WASTE SITES AND SALVAGE**  
Salvage materials such as castings, pipe, and similar materials shall be disposed of by the Contractor as designated in the Contract Documents.  
Surplus excavated material, such as earth, rock, broken concrete, and similar materials shall be disposed of in the locations noted in the Contract Documents.  
Disposed of in a legal manner, outside of the limits of the job site at a location chosen by the Contractor, at the Contractor's expense.
- **UTILITIES**  
The Contractor shall be responsible for ascertaining the exact locations of all utilities and house services from the utility companies before starting construction and coordinating all construction activities with the utility companies. All costs for locating, protecting, and replacing or repairing all utilities damaged by construction shall be borne by the Contractor.  
All utilities shall remain in service during construction, unless authorization has been obtained from the utility company.  
In the event a utility facility is exposed by construction, adequate measures shall be taken to properly support each utility or service. Bedding and backfilling shall be properly placed and compacted so as not to cause damage or settlement of utility facilities or services. Limestone screenings are not allowed for use as backfill material.
- **CITY SIGNS**  
Any street name signs or traffic control signs that conflict with construction shall be carefully removed by the Contractor. The Contractor shall collect, store, and replace them after construction at no additional cost to the Owner.
- **EQUIPMENT RESTRICTIONS**  
Track type equipment is not permitted on streets or driveways that are not scheduled for removal, unless the tracks are equipped with rubber or neoprene grousers.
- **WORKING AREA**  
The Contractor shall store equipment and stockpile material within the boundaries of the project or at the approved location. The Contractor shall not use or occupy any lands on private property within the boundaries of the project not included in temporary construction easements unless express permission is given by the Owner. The Contractor shall return the storage area to pre-construction conditions upon completion of the project.
- **TRAFFIC CONTROL**  
The Contractor shall furnish barricades, signs, flashers, and warning devices for use at the end and throughout the project and in advance of construction to inform motorists and pedestrians of construction, as needed. Such devices shall be provided by the Contractor as necessary for the safety of the general public and workmen and located and erected in sufficient quantity in accordance with the Manual of Uniform Traffic Control Devices, latest edition.
- **CLEAN UP**  
All areas shall be left in a clean and workmanlike manner with all construction debris removed.

**TOWNSEND ENGINEERING**  
CIVIL • STRUCTURAL • LAND DEVELOPMENT

DATE: 12/31/2024  
563 386.4236 office 386.4231 fax  
2224 East 12th Street, Davenport, IA 52803

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NO.	REVISIONS: DESCRIPTION	DATE

**PROJECT** DEMOLITION PLAN  
LANCERS RUN SUBDIVISION  
208 5TH STREET  
ELDRIDGE, IA 52748

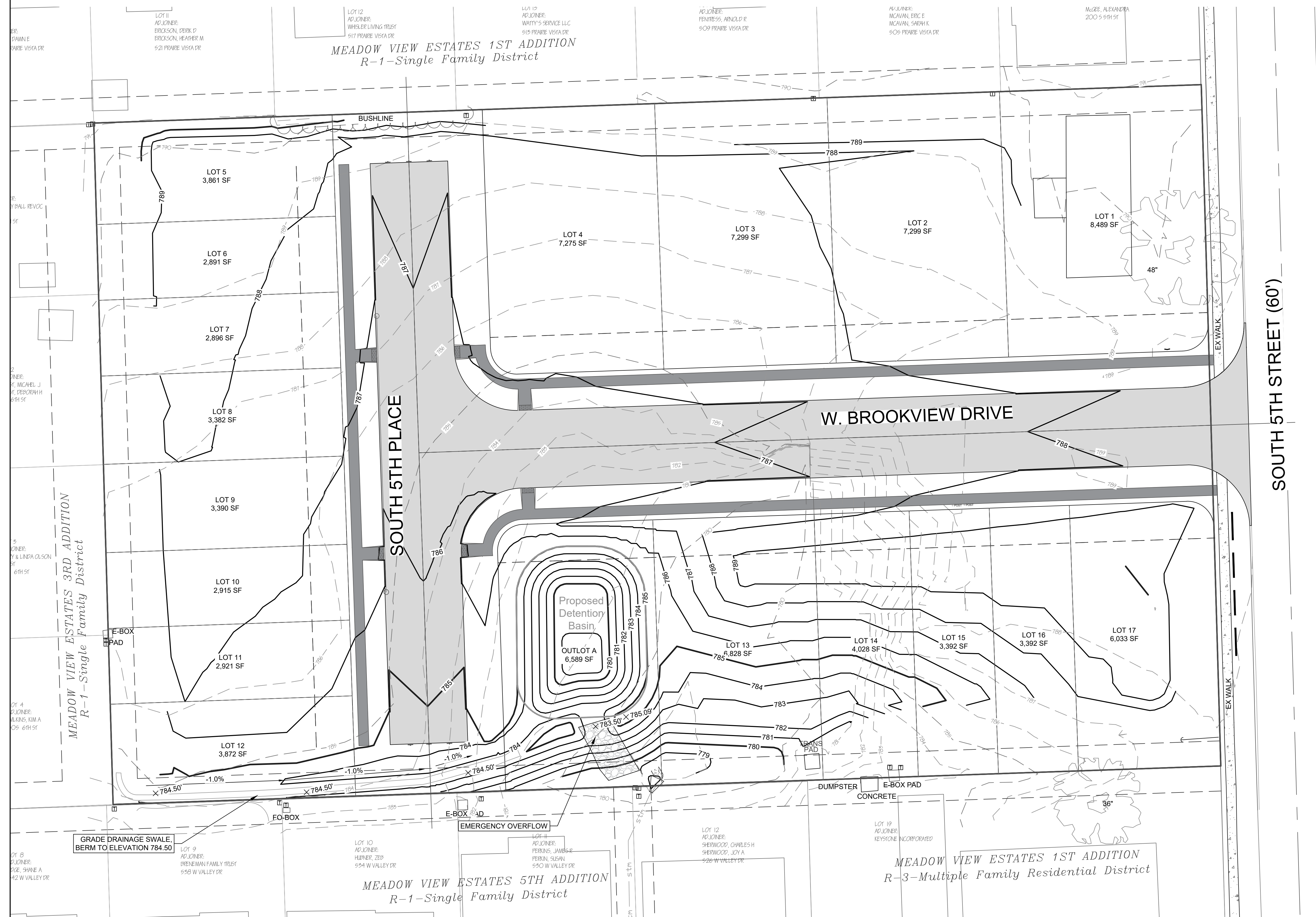
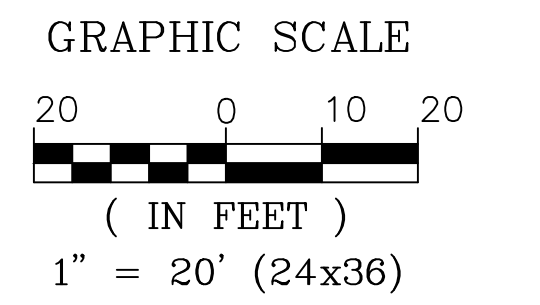
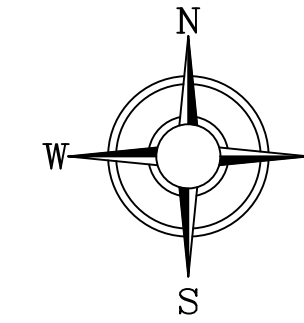
**DEVELOPER**  
NORTH SCOTT SCHOOL DISTRICT  
200 S 1ST STREET  
ELDRIDGE, IA 52748

SHEET NO.  
**C2**



# NORTH SCOTT SCHOOL DISTRICT LANCERS RUN SUBDIVISION

TO THE CITY OF ELDRIDGE, IA



LEGEND:			
	EASEMENT		EXISTING CONTOUR LINE
	SETBACK LINE		PROPOSED CONTOUR LINE
	CENTERLINE		SPOT ELEVATION
	PROPERTY BOUNDARY		SPOT ELEVATION
	EXISTING FENCE		SPOT ELEVATION
	EXISTING SANITARY		SPOT ELEVATION
	PROPOSED SANITARY		SPOT ELEVATION
	EXISTING STORM SEWER		SPOT ELEVATION
	PROPOSED STORM SEWER		SPOT ELEVATION
	EXISTING WATER		SPOT ELEVATION
	PROPOSED WATER		SPOT ELEVATION
	EXISTING GAS LINE		SPOT ELEVATION
	EXISTING ELECTRIC		SPOT ELEVATION
	PROPOSED UNDERGROUND		SPOT ELEVATION
	EXISTING GAS VALVE		SPOT ELEVATION
	EXISTING WATER VALVE		SPOT ELEVATION
	EXISTING UTILITY POLE		SPOT ELEVATION
	EXISTING LIGHT POLE		SPOT ELEVATION
	EXISTING TREE		SPOT ELEVATION
	EXISTING BUSH		SPOT ELEVATION
	EXISTING MANHOLE		SPOT ELEVATION
	EXISTING FIRE HYDRANT		SPOT ELEVATION
	FILING PROPERTY PIN		SPOT ELEVATION
	CONTROL POINT		SPOT ELEVATION
	MATCH EXISTING		SPOT ELEVATION



DATE: 1/10/2025  
563 386.4236 office 386.4231 fax  
2224 East 12th Street, Davenport, IA 52803

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CHECKED BY: CRT  
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NO.	REVISIONS: DESCRIPTION	DATE

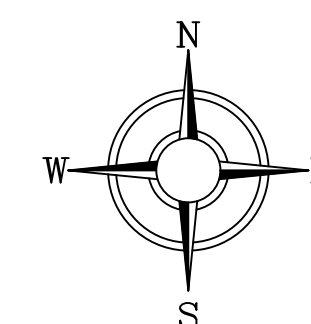
PROJECT: GRADING PLAN  
LANCERS RUN SUBDIVISION  
208 5TH STREET  
ELDRIDGE, IA 52748

DEVELOPER: NORTH SCOTT SCHOOL DISTRICT  
200 S 1ST STREET  
ELDRIDGE, IA 52748

SHEET NO. C3

# NORTH SCOTT SCHOOL DISTRICT LANCERS RUN SUBDIVISION

TO THE CITY OF ELDRIDGE, IA



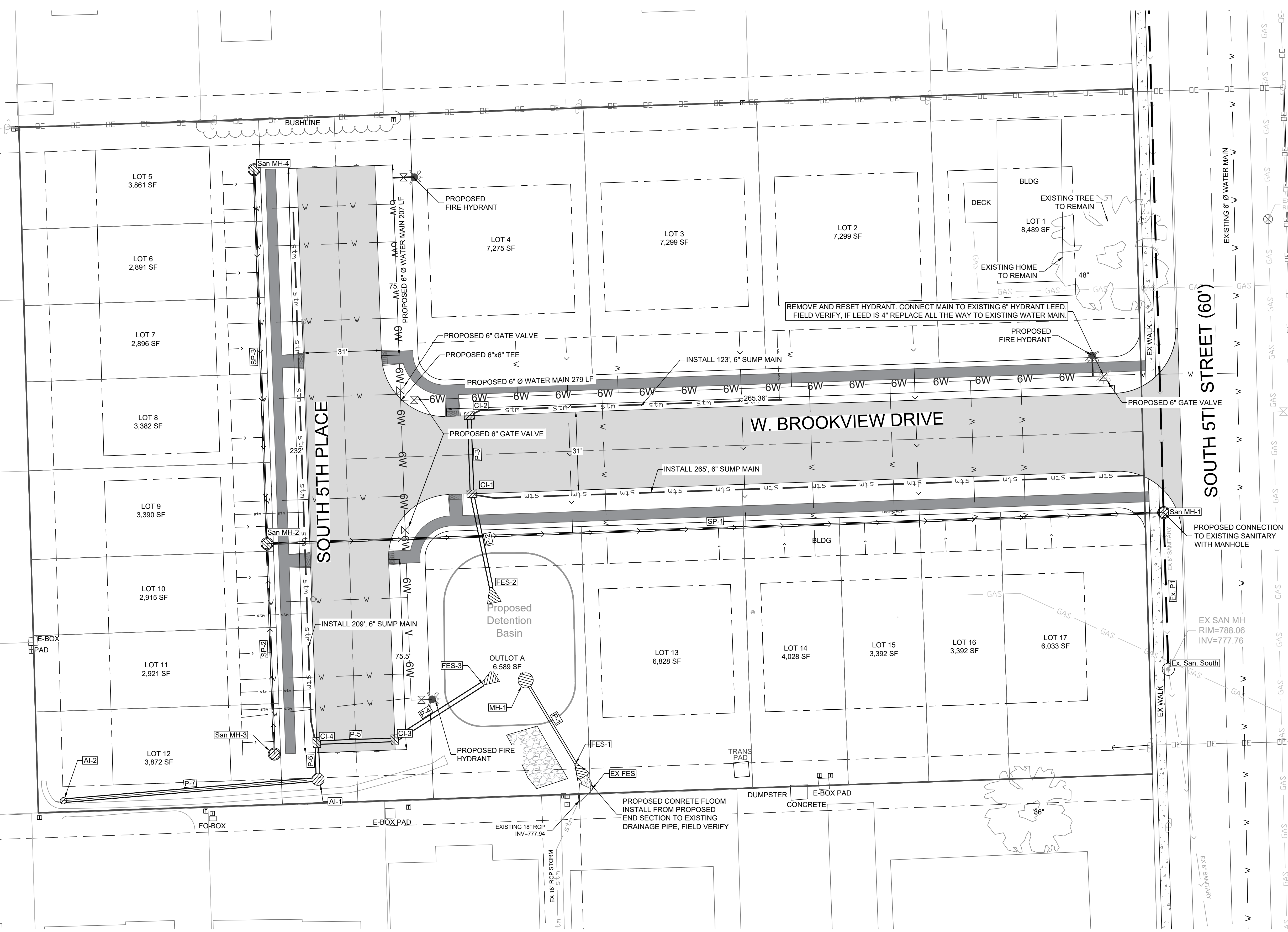
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( IN FEET )  
1" = 20' (24x36)

**UTILITY CONTACTS**

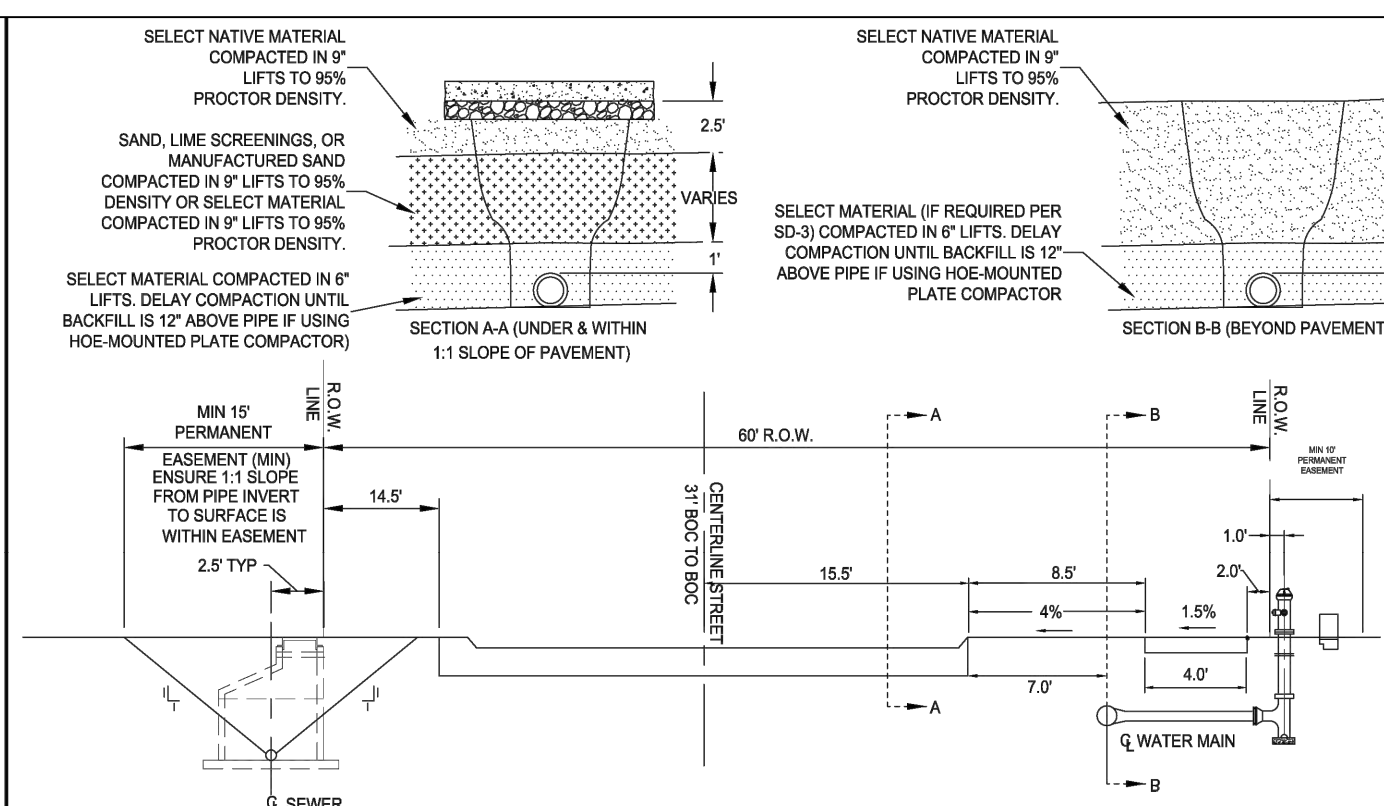
MidAmerican Energy - Electric & Gas  
2811 5th Avenue  
Rock Island, IL 61201  
(309) 793-3707

MediaCom - Cable, Internet, & Phone  
3900 26th Avenue  
Moline, IL 61265  
(309) 743-4750

Century Link - Internet  
3908 Utica Ridge Road  
Bettendorf, IA 52722  
(563) 355-6402



LEGEND:			
	EASEMENT		EXISTING GAS VALVE
	SETBACK LINE		EXISTING WATER VALVE
	CENTERLINE		EXISTING LIGHT POLE
	PROPERTY BOUNDARY		EXISTING UTILITY POLE
	EXISTING FIRE		EXISTING TREE
	EXISTING SANITARY		EXISTING BUSH
	PROPOSED SANITARY		EXISTING MANHOLE
	EXISTING STORM SEWER		EXISTING FIRE HYDRANT
	PROPOSED STORM SEWER		FOUND PROPERTY PIN
	EXISTING WATER		CONTROL POINT
	PROPOSED WATER		MATCH EXISTING
	EXISTING GAS LINE		PROPOSED CONTOUR LINE
	EXISTING ELECTRIC		SPOT ELEVATION TOP OF CURB
	PROPOSED UNDERDRAIN		SPOT ELEVATION TOP OF PAVEMENT
			SPOT ELEVATION TOP OF RETAINING WALL
			SPOT ELEVATION BOTTOM OF RETAINING WALL



- NOTES:**
- DISTURBED MATERIAL IN THE EXCAVATION MUST BE COMPACTED TO 95% DENSITY.
  - SELECT MATERIAL PLACED IN TRENCH UNDER PAVING SHALL BE INCLUDED IN THE PIPE INSTALLATION COST. NO ADDITIONAL PAYMENT WILL BE MADE FOR SELECT BACKFILL UNDER EXISTING OR PROPOSED PAVING.
  - MANHOLE COVERS SHALL BE SET TO FINAL SIDEWALK GRADE. IF FURTHER ADJUSTMENT IS NECESSARY BECAUSE OF FUTURE LOT GRADING IT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
  - BACKFILL FOR PIPE TRENCH EXCAVATION UNDER PAVING SHALL CONFORM TO THAT SHOWN IN SECTION C-C ABOVE AND AS SPECIFIED IN CHAPTER 10 PARAGRAPH 1.15 OF THE STANDARD SPECIFICATIONS.
  - THE PLANTING OF TREES OR SHRUBS IN THE RIGHT-OF-WAY OR OR PERMANENT EASEMENT SHALL BE PROHIBITED.
  - INSIDE OF MANHOLE CASTING SHALL BE LOCATED AT PROPERTY LINE R.O.W. LINE.



DATE: 1/10/2025  
563 386.4236 office 386.4231 fax  
2224 East 12th Street, Davenport, IA 52803

DRAWN BY: PAR  
CHECKED BY: CRT  
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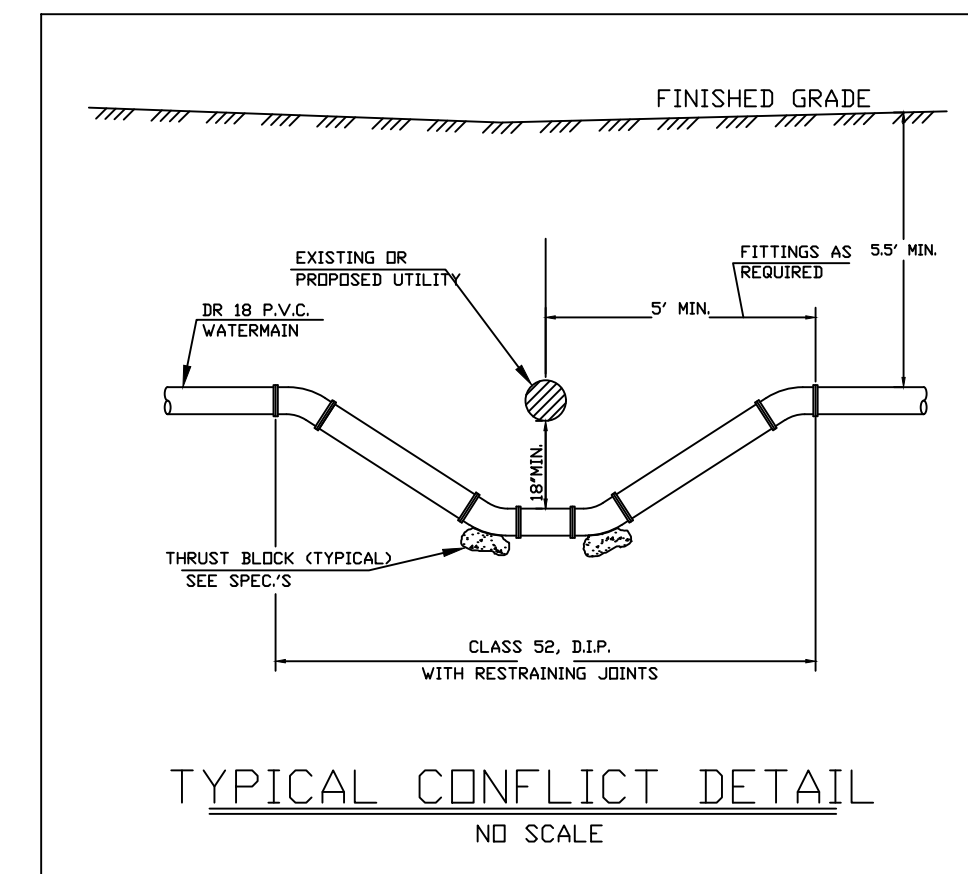
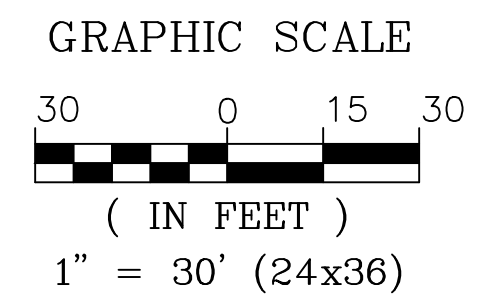
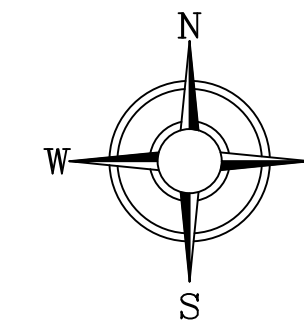
NO.	REVISIONS: DESCRIPTION	DATE

PROJECT: UTILITY PLAN  
LANCERS RUN SUBDIVISION  
208 5TH STREET  
ELDRIDGE, IA 52748

DEVELOPER: NORTH SCOTT SCHOOL DISTRICT  
200 S 1ST STREET  
ELDRIDGE, IA 52748

SHEET NO. C4

# NORTH SCOTT SCHOOL DISTRICT LANCERS RUN SUBDIVISION TO THE CITY OF ELDRIDGE, IA



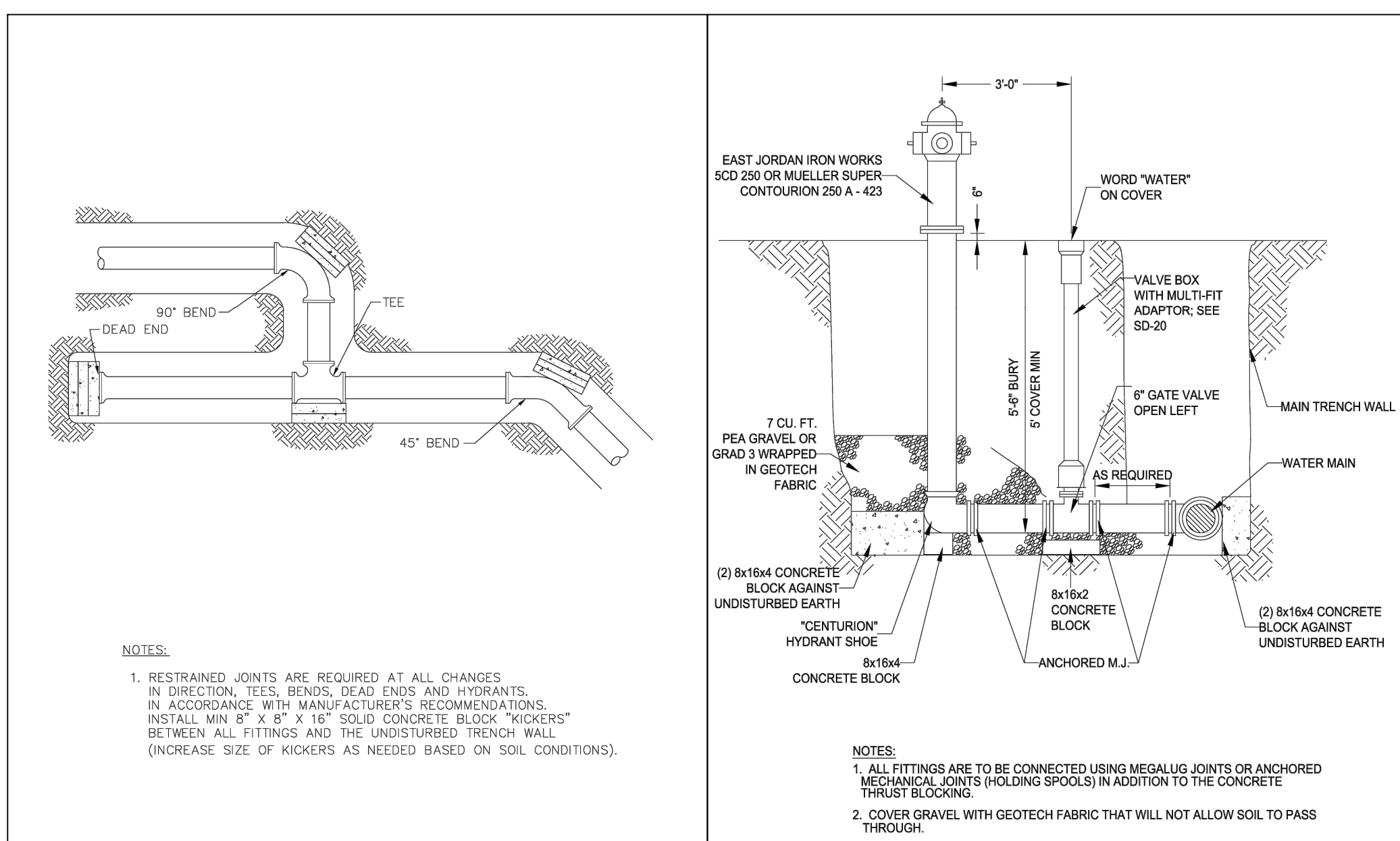
Vertical separation of sanitary and storm sewers crossing under any water main should be at least 18 inches when measured from the top of the sewer to the bottom of the water main.

If physical conditions prohibit the separation, the sewer may be placed not closer than 6 inches below a water main or 18 inches above a water main. The separation distance shall be the maximum feasible in all cases.

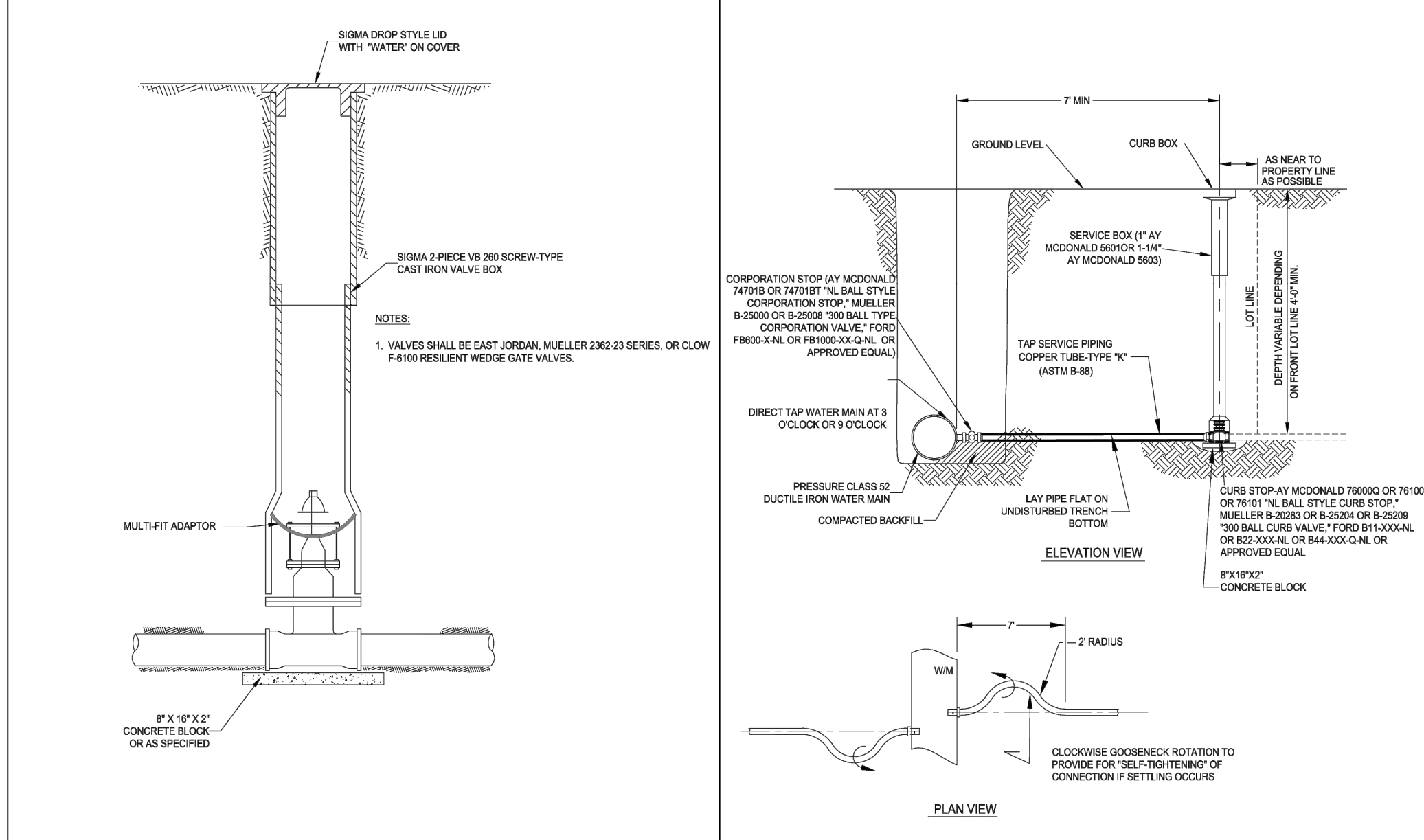
Where the sewer crosses over or less than 18 inches below a water main one full length of sewer pipe of water main material shall be located so both joints are as far as possible from the water main. The sewer and water pipes must be adequately supported and have watertight joints. A low permeability soil shall be used for backfill material within 10 feet of the point of crossing.

GENERAL NOTES

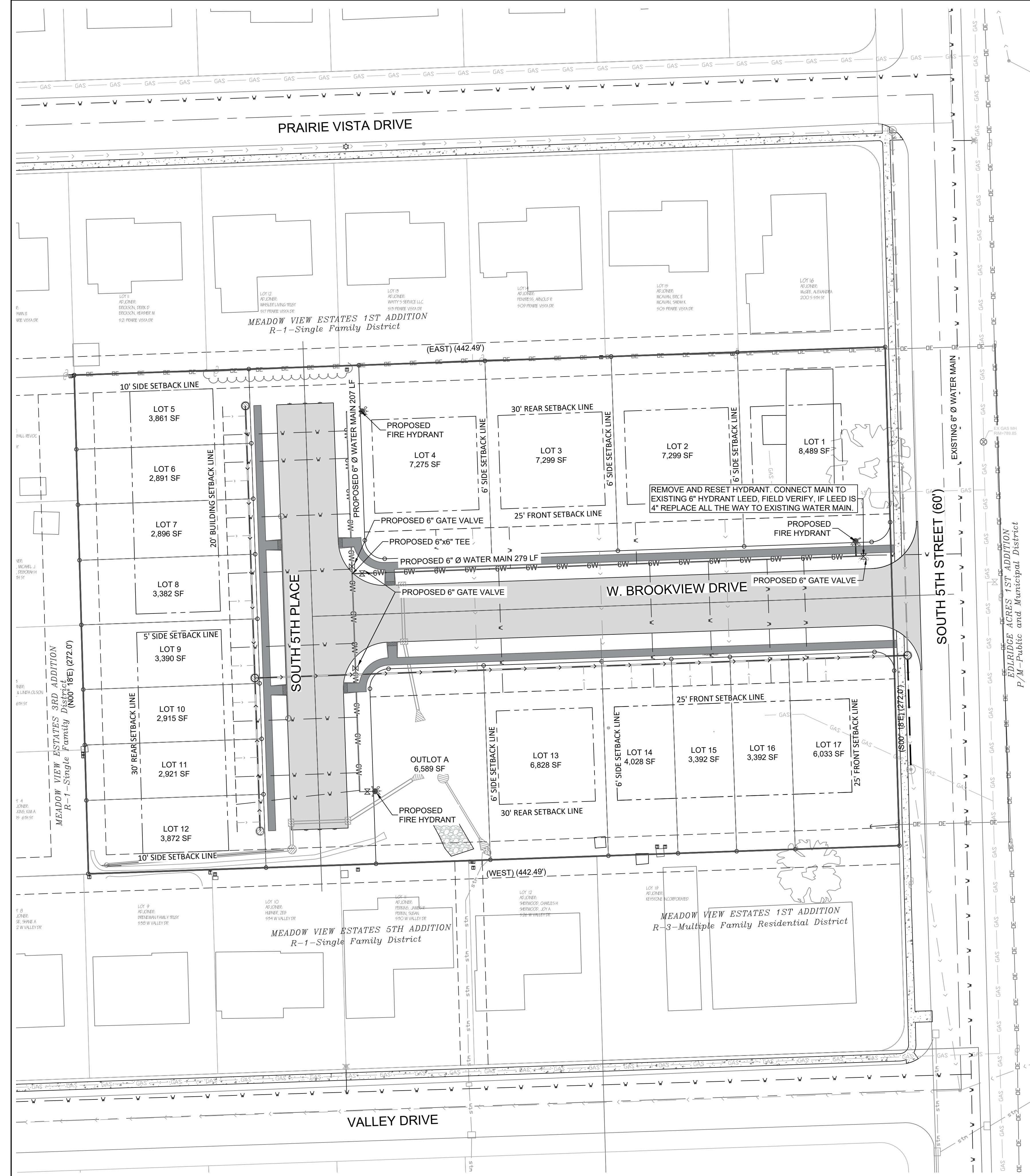
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL EXISTING UTILITIES AND PAVED STREETS, INCLUDING ANY NOT SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER IF ANY CONFLICTS WITH THE DRAWINGS OCCUR. ANY DAMAGE TO EXISTING UTILITIES AND/OR PAVED STREETS CAUSED BY TRENCHING AND GRADING OPERATIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITY LOCATIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE.
- THE WATER MAIN SHALL BE DUCTILE IRON PER CITY OF ELDRIDGE SPECIFICATIONS.



CITY OF ELDRIDGE	Water Main Fitting Detail	Date: 3/20/17	Sheet Number: 50-18	CITY OF ELDRIDGE	Fire Hydrant Installation	Date: 3/20/17	Sheet Number: 50-19
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CITY OF ELDRIDGE	Valve Box Detail	Date: 3/20/17	Sheet Number: 50-20	CITY OF ELDRIDGE	Water Service Connection	Date: 3/20/17	Sheet Number: 50-21
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DATE: 1/10/2025  
563 386.4236 office 386.4231 fax  
2224 East 12th Street, Davenport, IA 52803

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CHECKED BY: CRT  
DRAWING LOCATION: S:NORTH SCOTT SCHOOLS 5TH STREET SUBDIVISION DRAWINGS

NO.	REVISIONS: DESCRIPTION	DATE

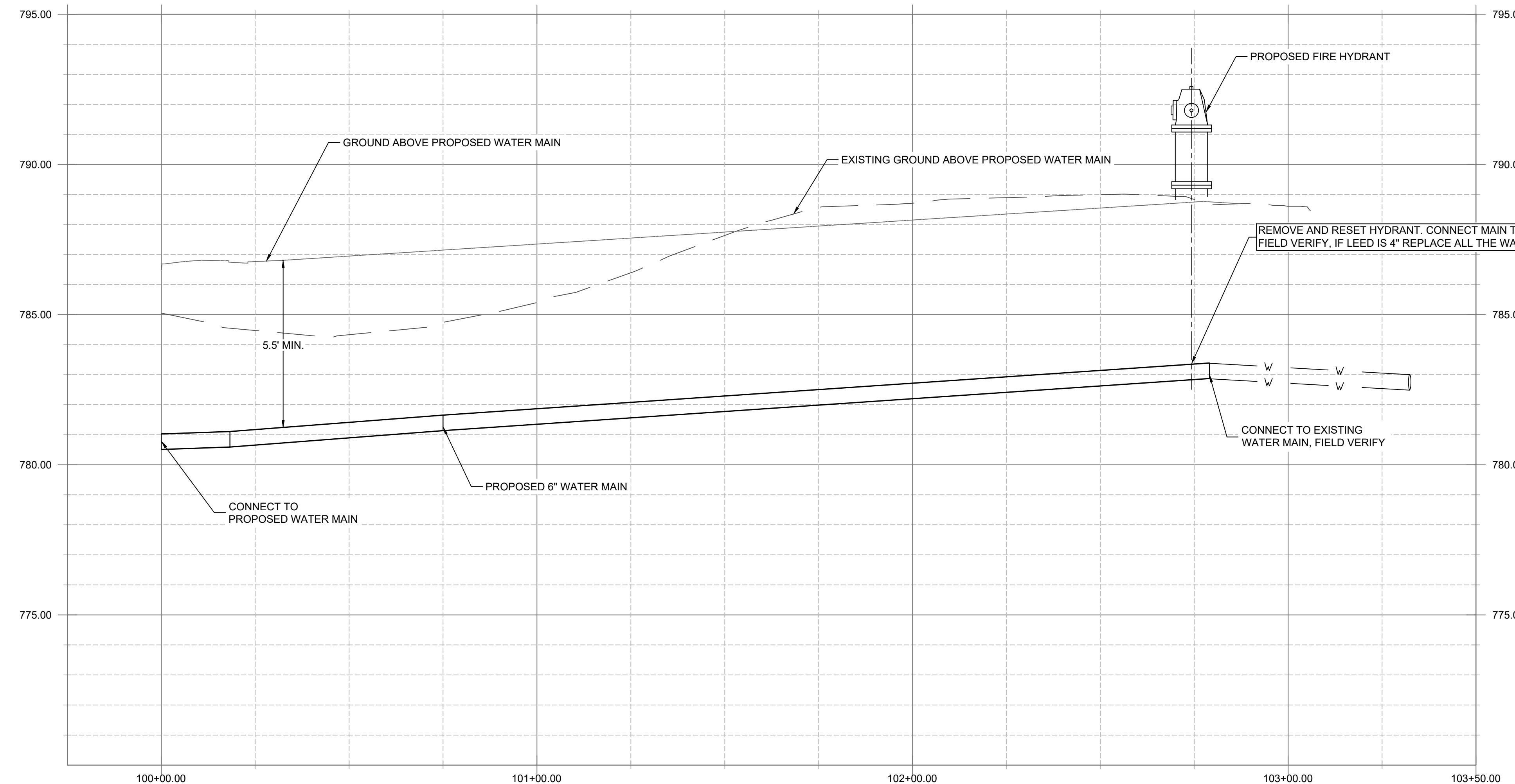
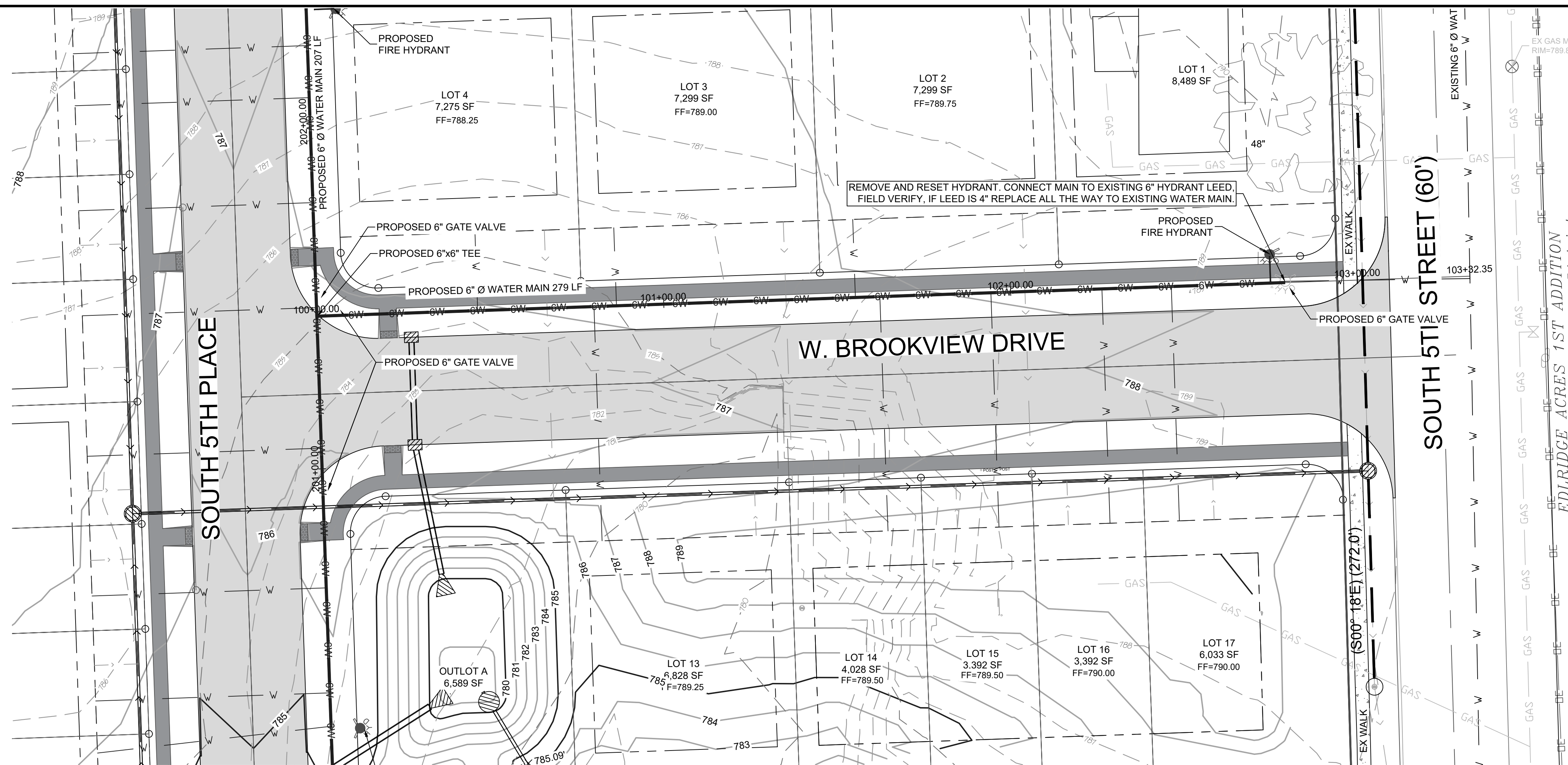
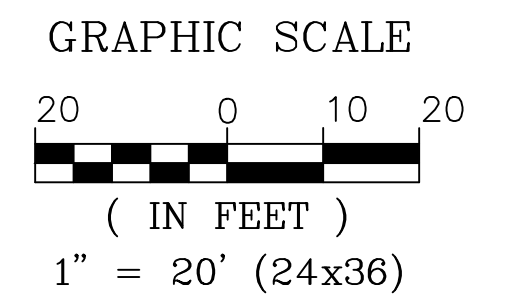
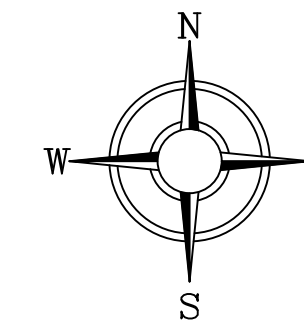
PROJECT: WATER PLAN  
LANCERS RUN SUBDIVISION  
208 5TH STREET  
ELDRIDGE, IA 52748

DEVELOPER: NORTH SCOTT SCHOOL DISTRICT  
200 S 1ST STREET  
ELDRIDGE, IA 52748

SHEET NO. C5.0

# NORTH SCOTT SCHOOL DISTRICT LANCERS RUN SUBDIVISION

TO THE CITY OF ELDRIDGE, IA



SCALE: 1" = 20' HORIZONTAL  
SCALE: 1" = 5' VERTICAL



DATE: 1/10/2025  
563 386.4236 office 386.4231 fax  
2224 East 12th Street, Davenport, IA 52803

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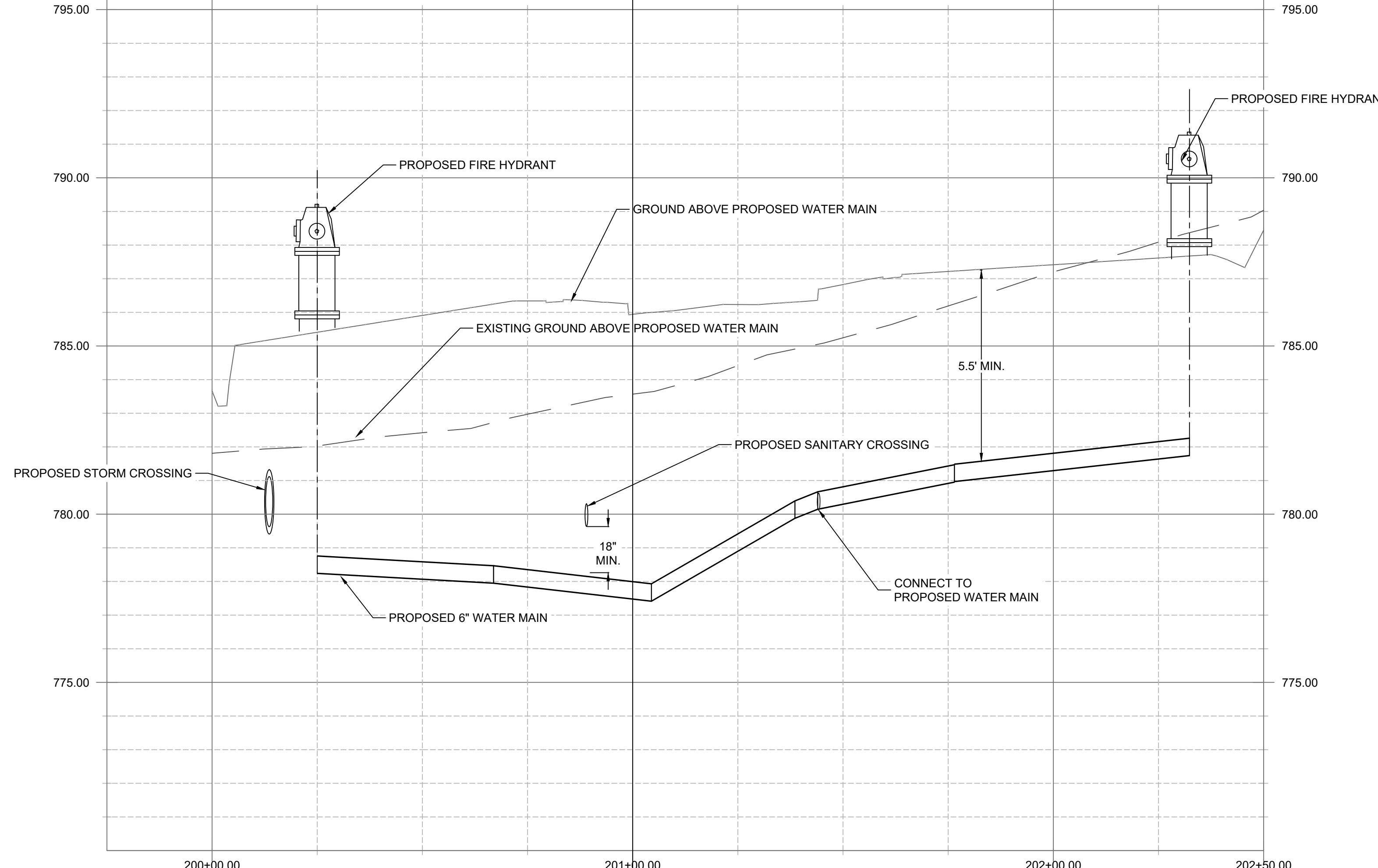
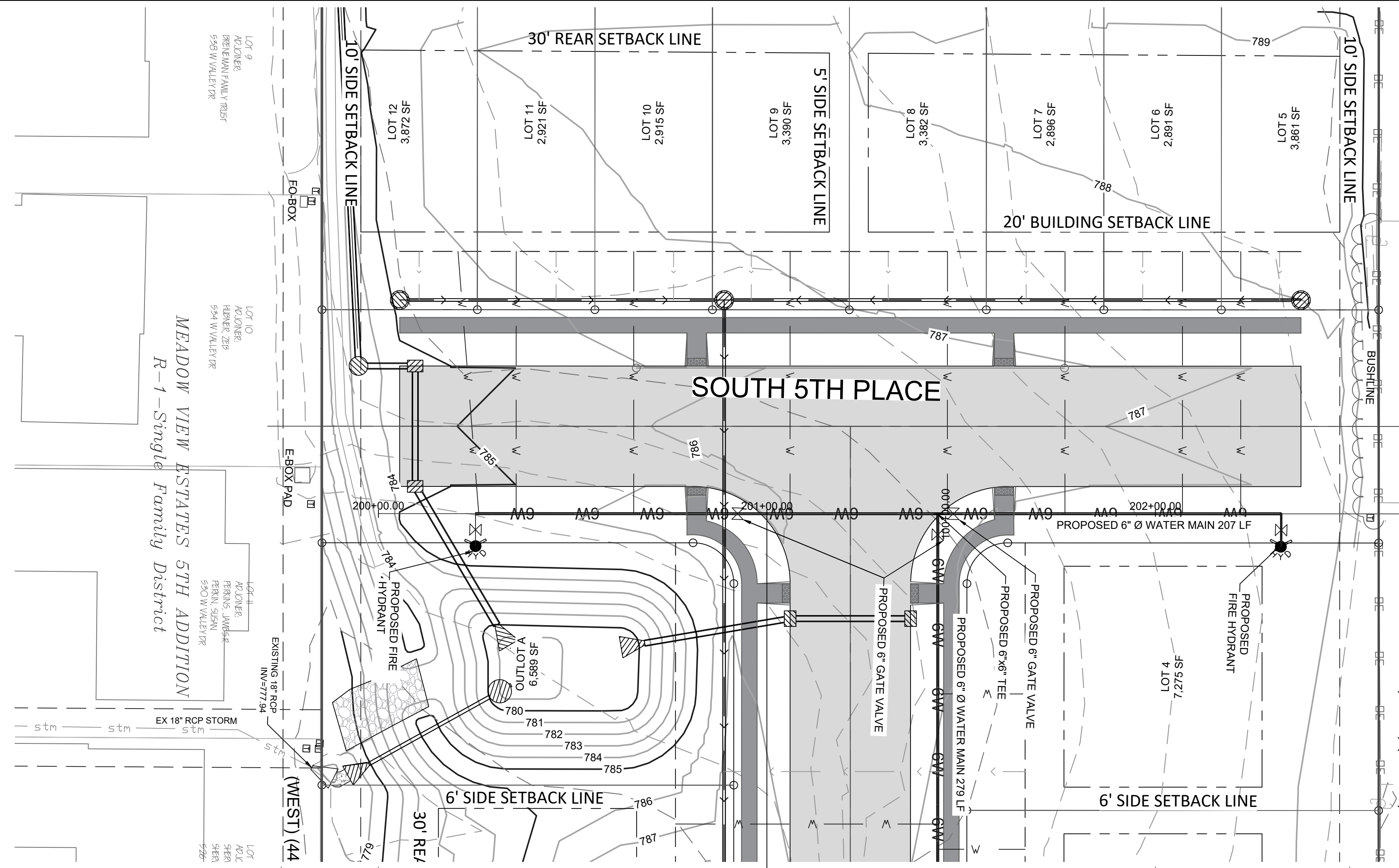
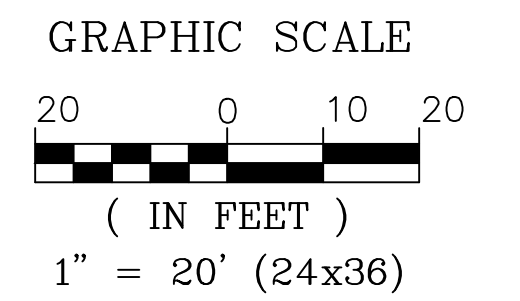
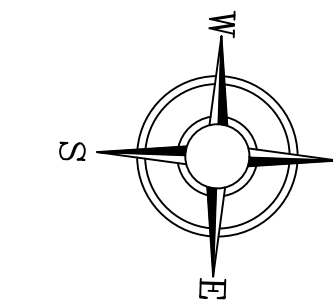
PROJECT: WATER PLAN & PROFILE  
LANCERS RUN SUBDIVISION  
208 5TH STREET  
ELDRIDGE, IA 52748

DEVELOPER: NORTH SCOTT SCHOOL DISTRICT  
200 S 1ST STREET  
ELDRIDGE, IA 52748

SHEET NO. **C5.1**

# NORTH SCOTT SCHOOL DISTRICT LANCERS RUN SUBDIVISION

TO THE CITY OF ELDRIDGE, IA



SCALE: 1" = 20' HORIZONTAL

SCALE: 1" = 5' VERTICAL



DATE: 1/10/2025  
563 386.4236 office 386.4231 fax  
2224 East 12th Street, Davenport, IA 52803

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CHECKED BY: CRT  
DRAWING LOCATION: S:\NORTH SCOTT SCHOOLS\5TH STREET SUBDIVISION\DRAWINGS

NO.	REVISIONS: DESCRIPTION	DATE

PROJECT: WATER PLAN & PROFILE  
LANCERS RUN SUBDIVISION  
208 5TH STREET  
ELDRIDGE, IA 52748

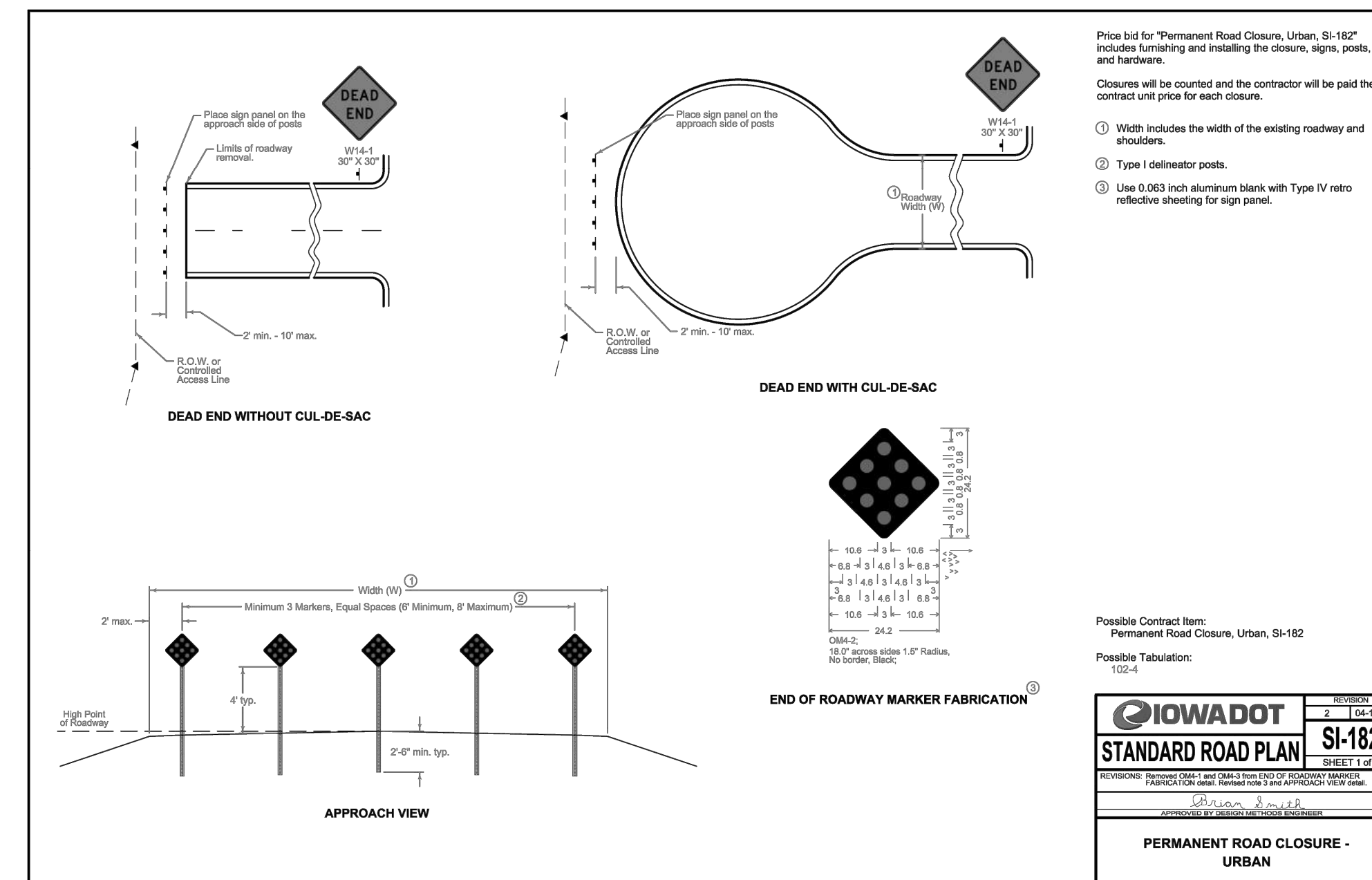
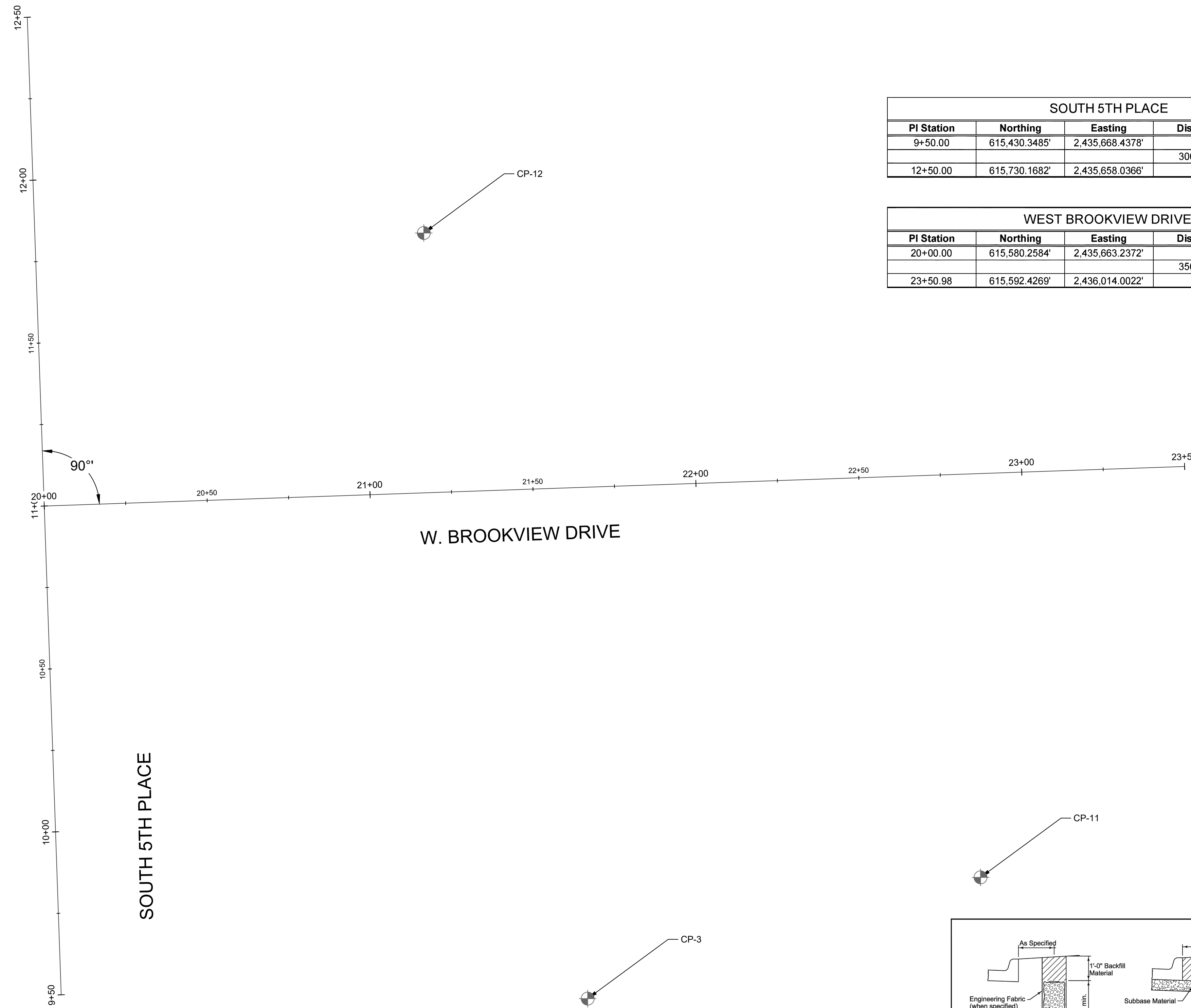
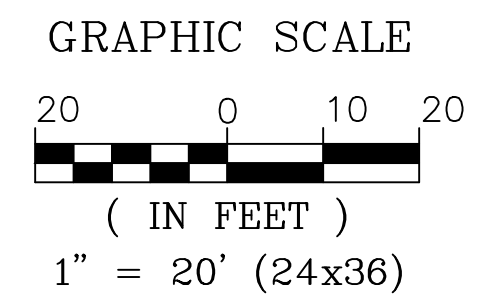
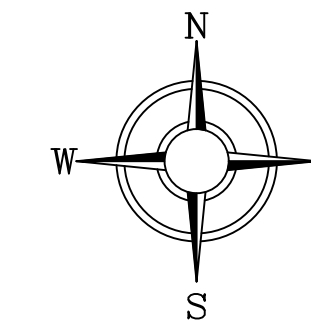
DEVELOPER: NORTH SCOTT SCHOOL DISTRICT  
200 S 1ST STREET  
ELDRIDGE, IA 52748

SHEET NO. **C5.2**

# NORTH SCOTT SCHOOL DISTRICT LANCERS RUN SUBDIVISION TO THE CITY OF ELDRIDGE, IA

SOUTH 5TH PLACE				
PI Station	Northing	Easting	Distance	Direction
9+50.00	615,430.3485'	2,435,668.4378'		
12+50.00	615,730.1682'	2,435,658.0366'	300.000'	N1° 59' 12.77"W

WEST BROOKVIEW DRIVE				
PI Station	Northing	Easting	Distance	Direction
20+00.00	615,580.2584'	2,435,663.2372'		
23+50.98	615,592.4269'	2,436,014.0022'	350.976'	N88° 00' 47.23"E



Price bid for "Permanent Road Closure, Urban, SI-182" includes furnishing and installing the closure, signs, posts, and hardware.

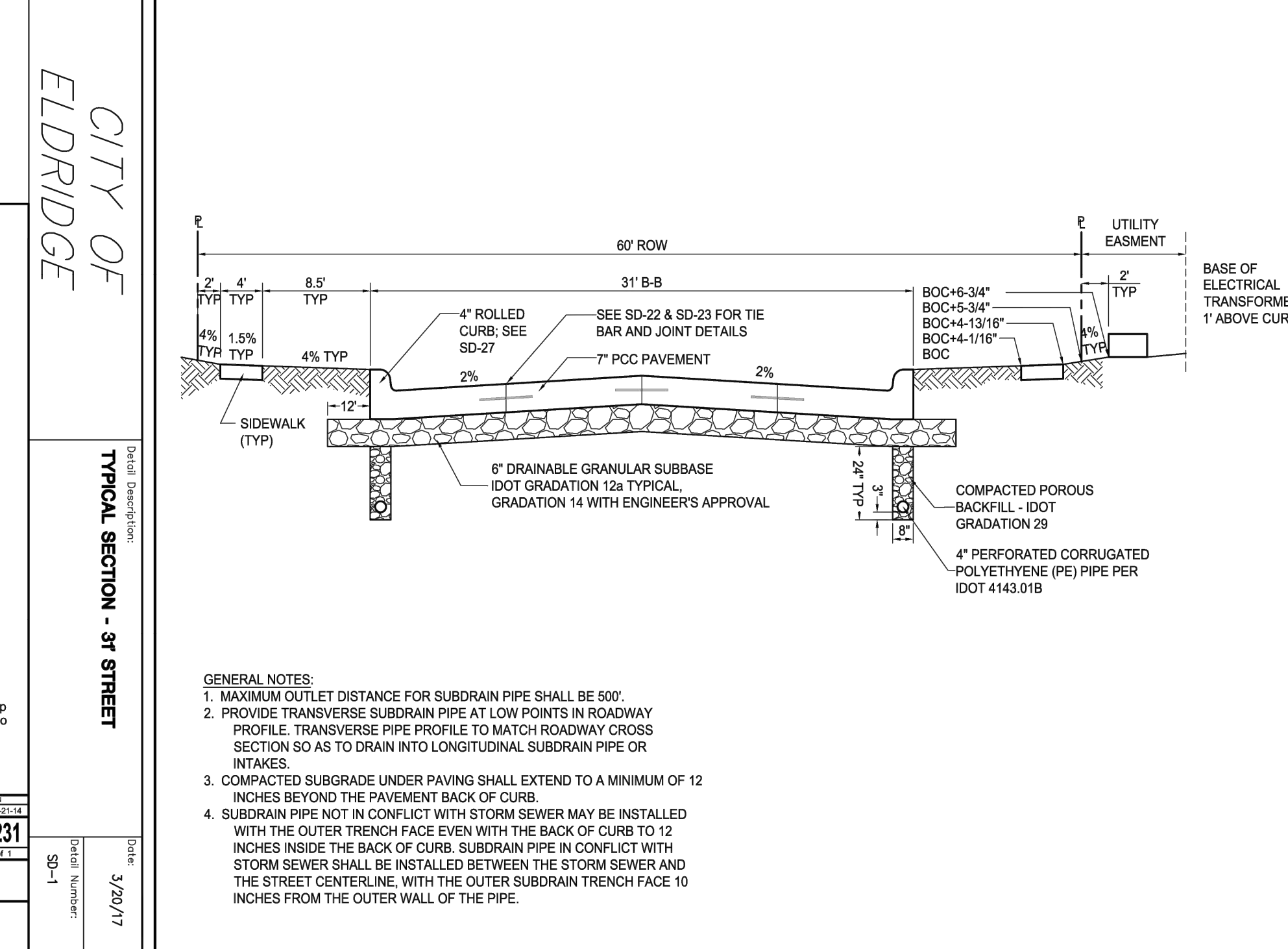
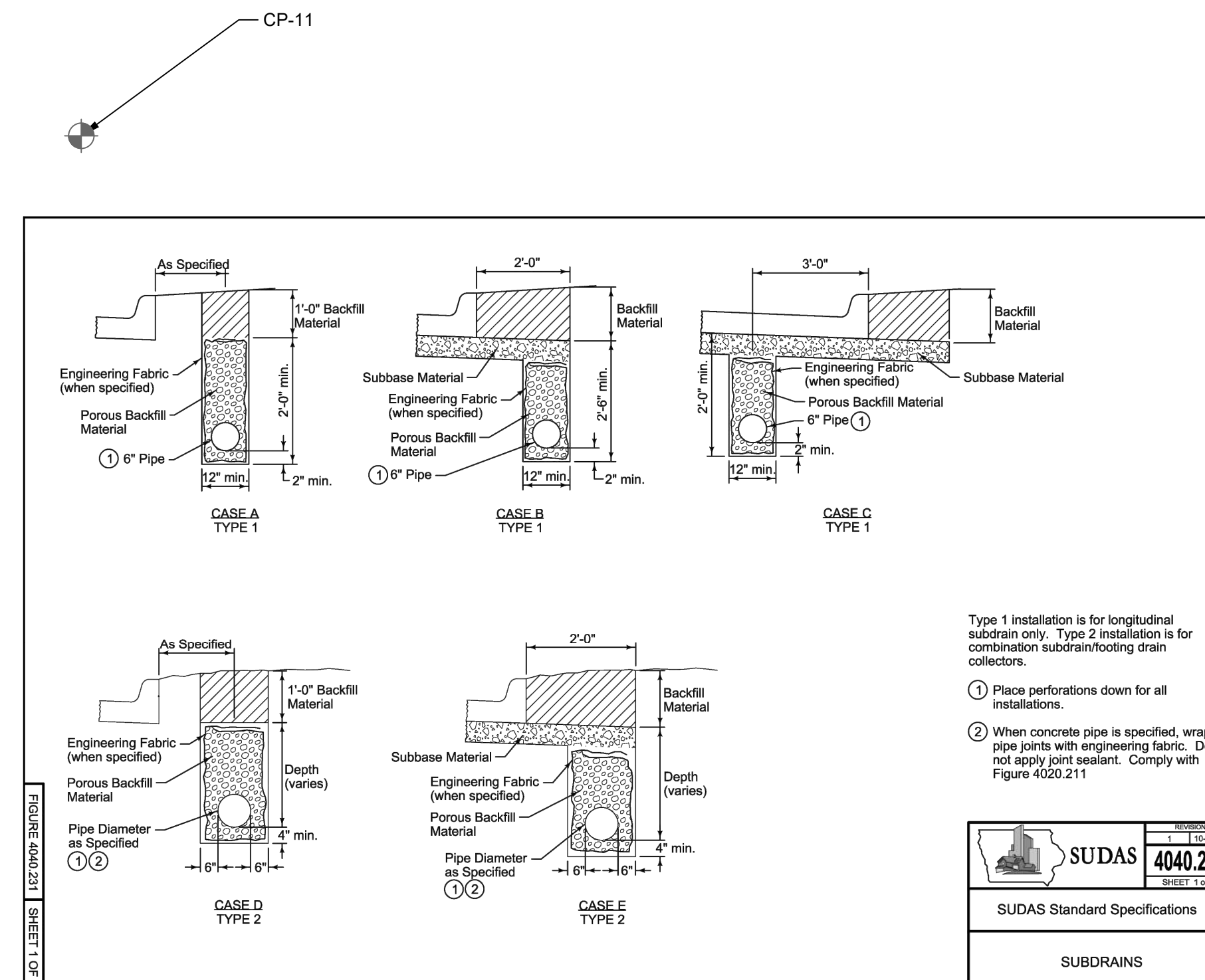
Closures will be counted and the contractor will be paid the contract unit price for each closure.

- Width includes the width of the existing roadway and shoulders.
- Type I delineator posts.
- Use 0.063 inch aluminum blank with Type IV retro reflective sheeting for sign panel.

Possible Contract Item:  
Permanent Road Closure, Urban, SI-182

Possible Tabulation:  
102-4

**IOWADOT**  
STANDARD ROAD PLAN  
SI-182  
PERMANENT ROAD CLOSURE - URBAN



DATE: 1/10/2025  
563 386.4236 office 386.4231 fax  
2224 East 12th Street, Davenport, IA 52803

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NO.	REVISIONS: DESCRIPTION	DATE

PROJECT: ROAD ALIGNMENT AND CONTROL  
LANCERS RUN SUBDIVISION  
208 5TH STREET  
ELDRIDGE, IA 52748

DEVELOPER: NORTH SCOTT SCHOOL DISTRICT  
200 S 1ST STREET  
ELDRIDGE, IA 52748

SHEET NO. C6.0

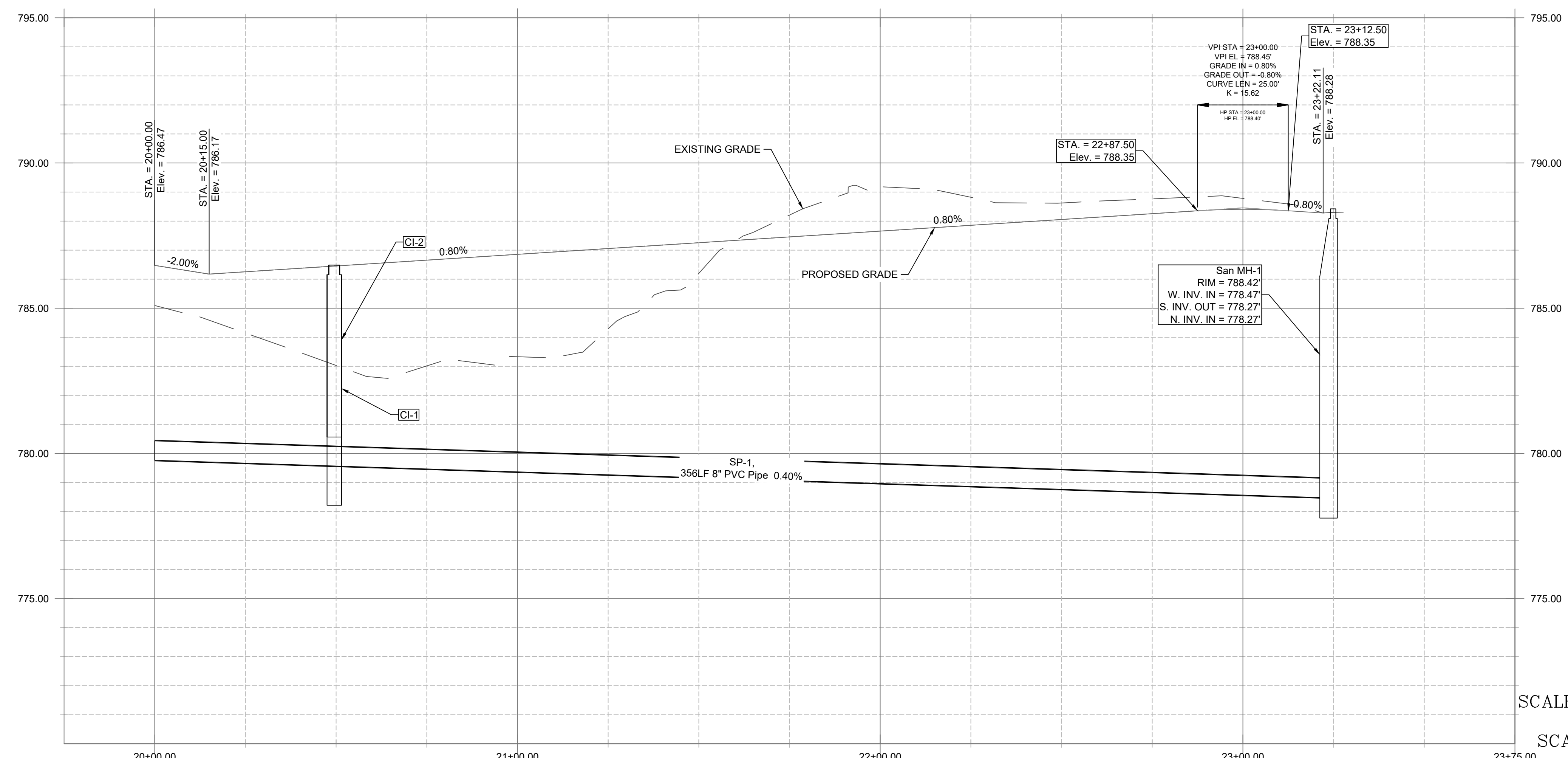
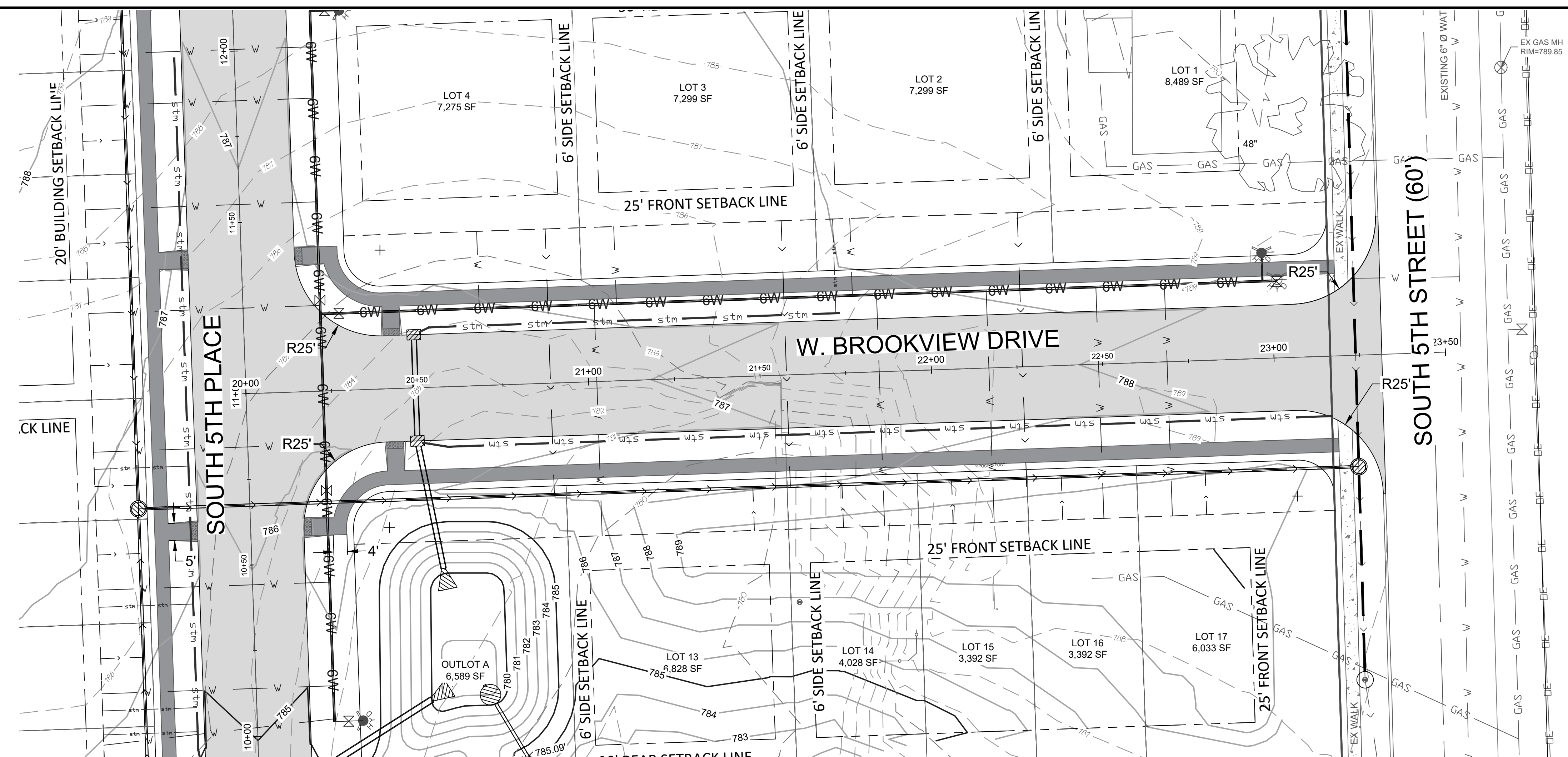
# NORTH SCOTT SCHOOL DISTRICT LANCERS RUN SUBDIVISION TO THE CITY OF ELDRIDGE, IA

**GRAPHIC SCALE**  
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( IN FEET )  
1" = 20' (24x36)

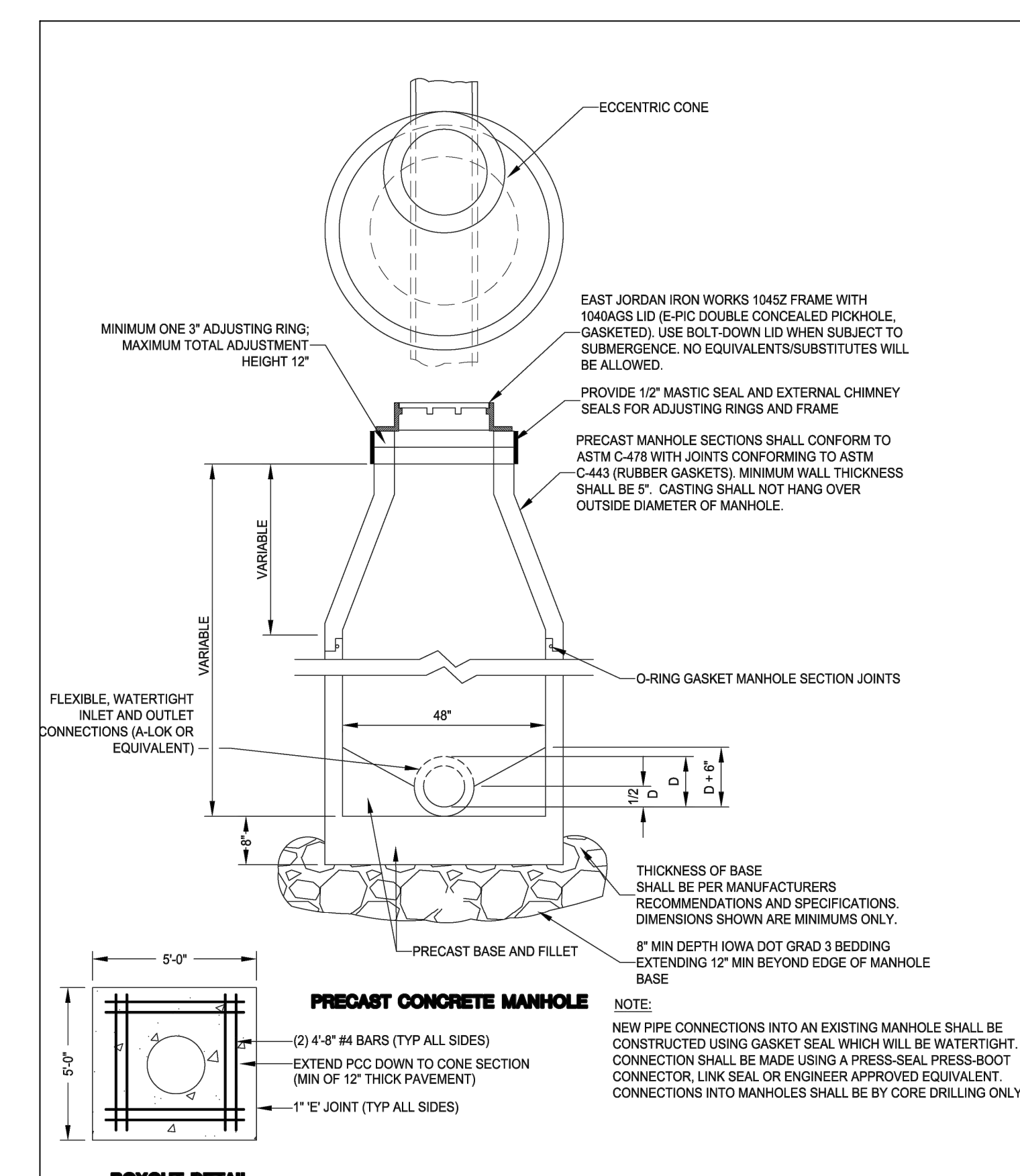


CONSTRUCT MANHOLE		
STRUCTURE	RIM	PIPE INVERT
SAN MH-1	788.42	8" W INV IN = 778.47' 8" S INV OUT = 778.27' 8" N INV IN = 778.27'
SAN MH-2	786.80	8" S INV IN = 780.09' 8" E INV OUT = 779.89' 8" N INV IN = 780.09'
SAN MH-3	785.32	8" N INV OUT = 780.43'
SAN MH-4	788.00	8" S INV OUT = 780.68'

SANITARY PIPE TABLE					
PIPE NAME	LOCATION	SIZE	MATERIAL	LENGTH	SLOPE
SP-1	SAN MH-2 TO SAN MH-1	8"	PVC PIPE	356'	0.40%
SP-2	SAN MH-3 TO SAN MH-2	8"	PVC PIPE	84'	0.40%
SP-3	SAN MH-4 TO SAN MH-2	8"	PVC PIPE	148'	0.40%



SCALE: 1" = 20' HORIZONTAL  
SCALE: 1" = 5' VERTICAL



<b>BOXOUT DETAIL</b>	NOTE: NEW PIPE CONNECTIONS INTO AN EXISTING MANHOLE SHALL BE CONSTRUCTED USING GASKET SEAL WHICH WILL BE WATER TIGHT. CONNECTION SHALL BE MADE USING A PRESS-SEAL PRESS-ROOT CONNECTOR, LINK SEAL OR ENGINEER APPROVED EQUIVALENT. CONNECTIONS INTO MANHOLES SHALL BE BY CORE DRILLING ONLY.
----------------------	---

CITY OF ELDRIDGE	Detail Description: <b>STANDARD SANITARY MANHOLE</b>	Date: 3/20/17
		Detail Number: SD-4



DATE: 1/10/2025  
563 386.4236 office 386.4231 fax  
2224 East 12th Street, Davenport, IA 52803

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NO.	REVISIONS: DESCRIPTION	DATE

PROJECT: ROAD AND SANITARY P&P  
LANCERS RUN SUBDIVISION  
208 5TH STREET  
ELDRIDGE, IA 52748


DEVELOPER: NORTH SCOTT SCHOOL DISTRICT  
200 S 1ST STREET  
ELDRIDGE, IA 52748

SHEET NO. **C6.1**

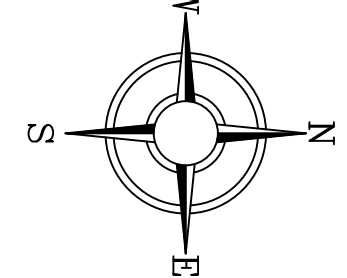
# ROAD AND SANITARY PLAN & PROFILE

## NORTH SCOTT SCHOOL DISTRICT LANCERS RUN SUBDIVISION

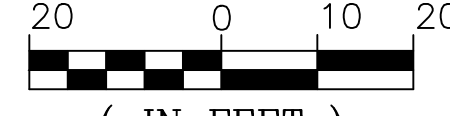
TO THE CITY OF ELDRIDGE, IA



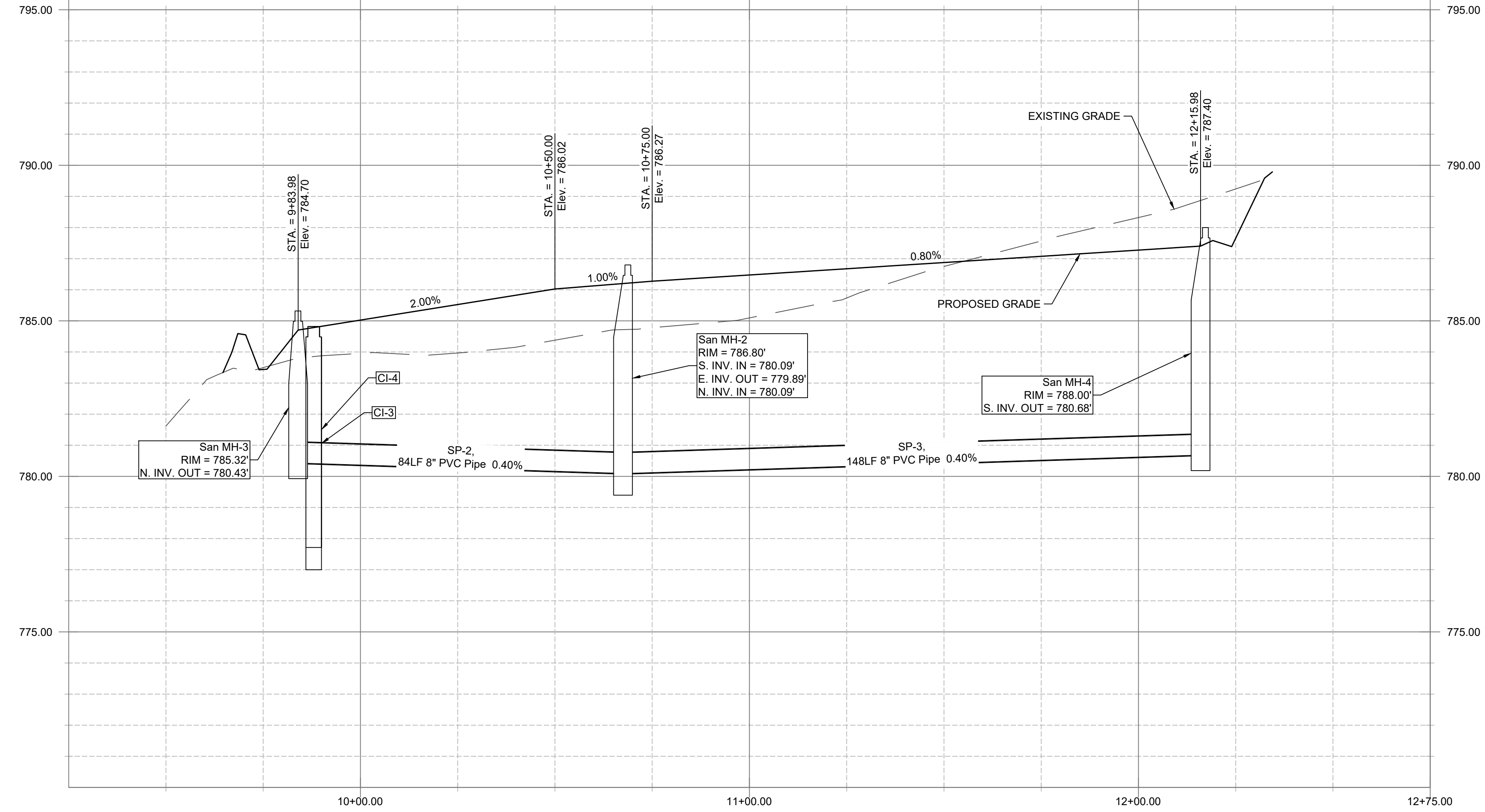
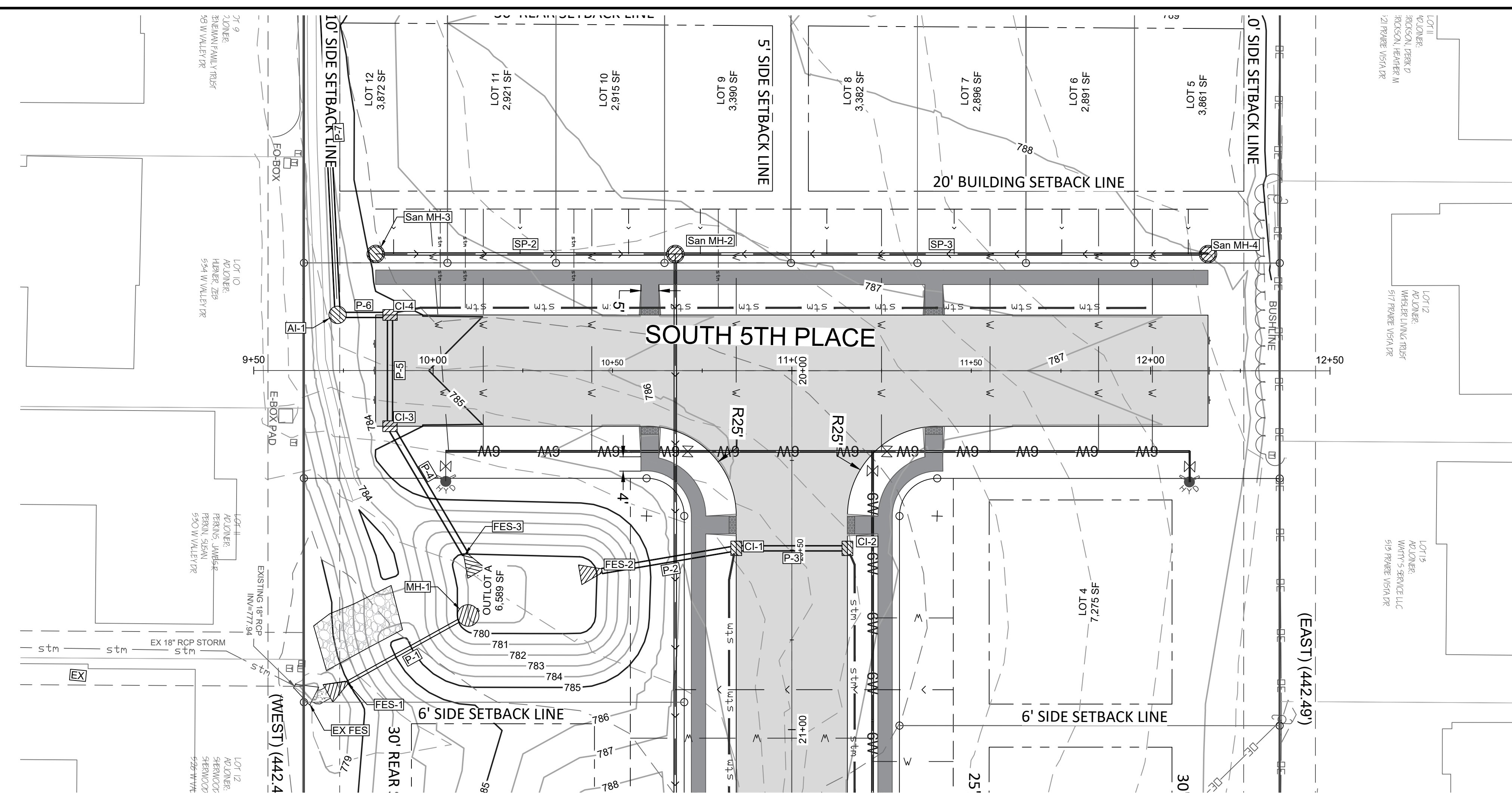
**IOWA  
ONE CALL**  
800.292.6989  
Call if Working Daily  
BEFORE YOU DIG!



**GRAPHIC SCALE**



( IN FEET )  
1" = 20' (24x36)



SCALE: 1" = 20' HORIZONTAL  
SCALE: 1" = 5' VERTICAL



DATE: 1/10/2025  
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2224 East 12th Street, Davenport, IA 52803

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NO.	REVISIONS: DESCRIPTION	DATE

**PROJECT**  
ROAD AND SANITARY P&P  
LANCERS RUN SUBDIVISION  
208 5TH STREET  
ELDRIDGE, IA 52748

**DEVELOPER**  
NORTH SCOTT SCHOOL DISTRICT  
200 S 1ST STREET  
ELDRIDGE, IA 52748

**SHEET NO.**  
**C6.2**



# NORTH SCOTT SCHOOL DISTRICT LANCERS RUN SUBDIVISION TO THE CITY OF ELDRIDGE, IA

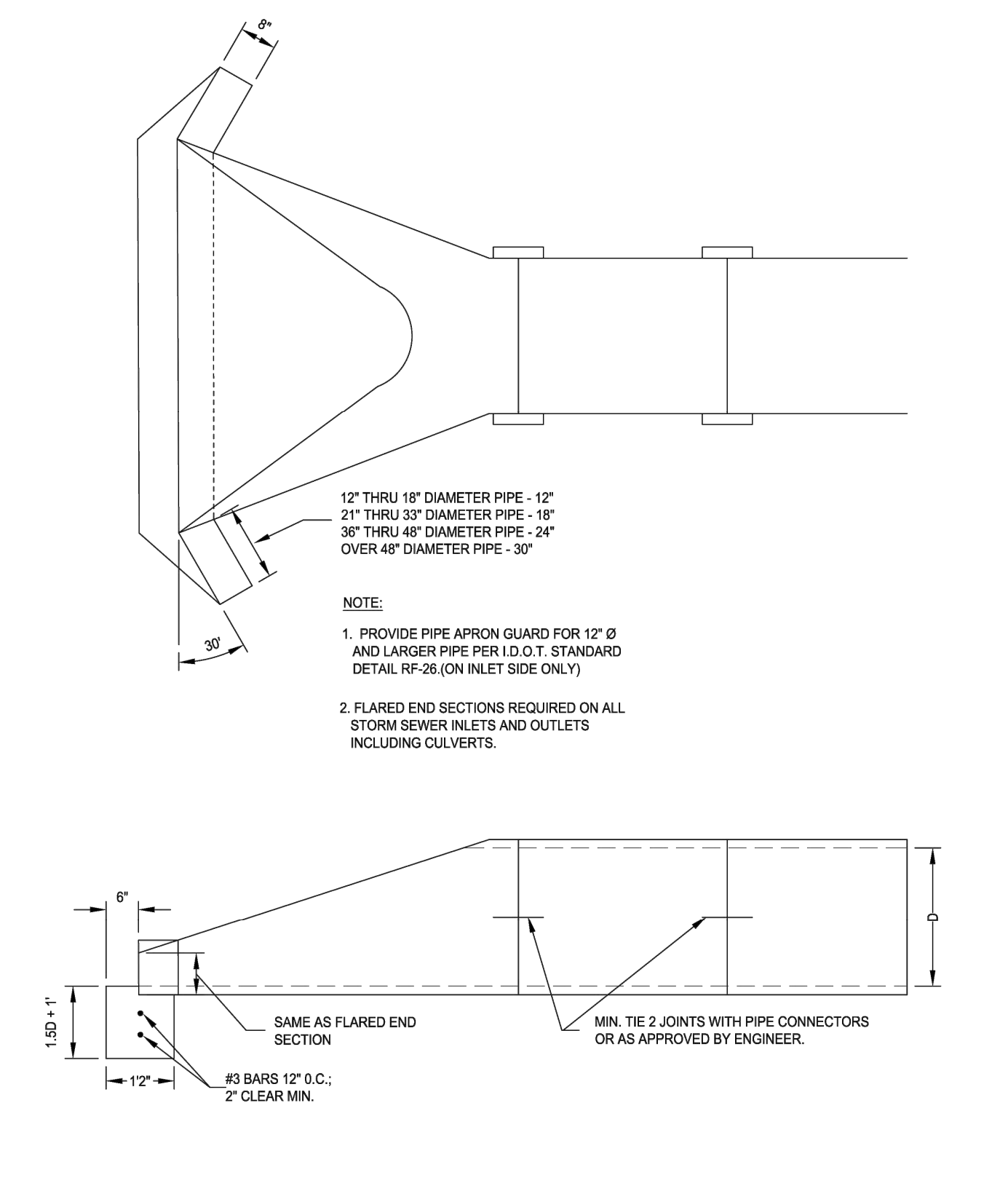
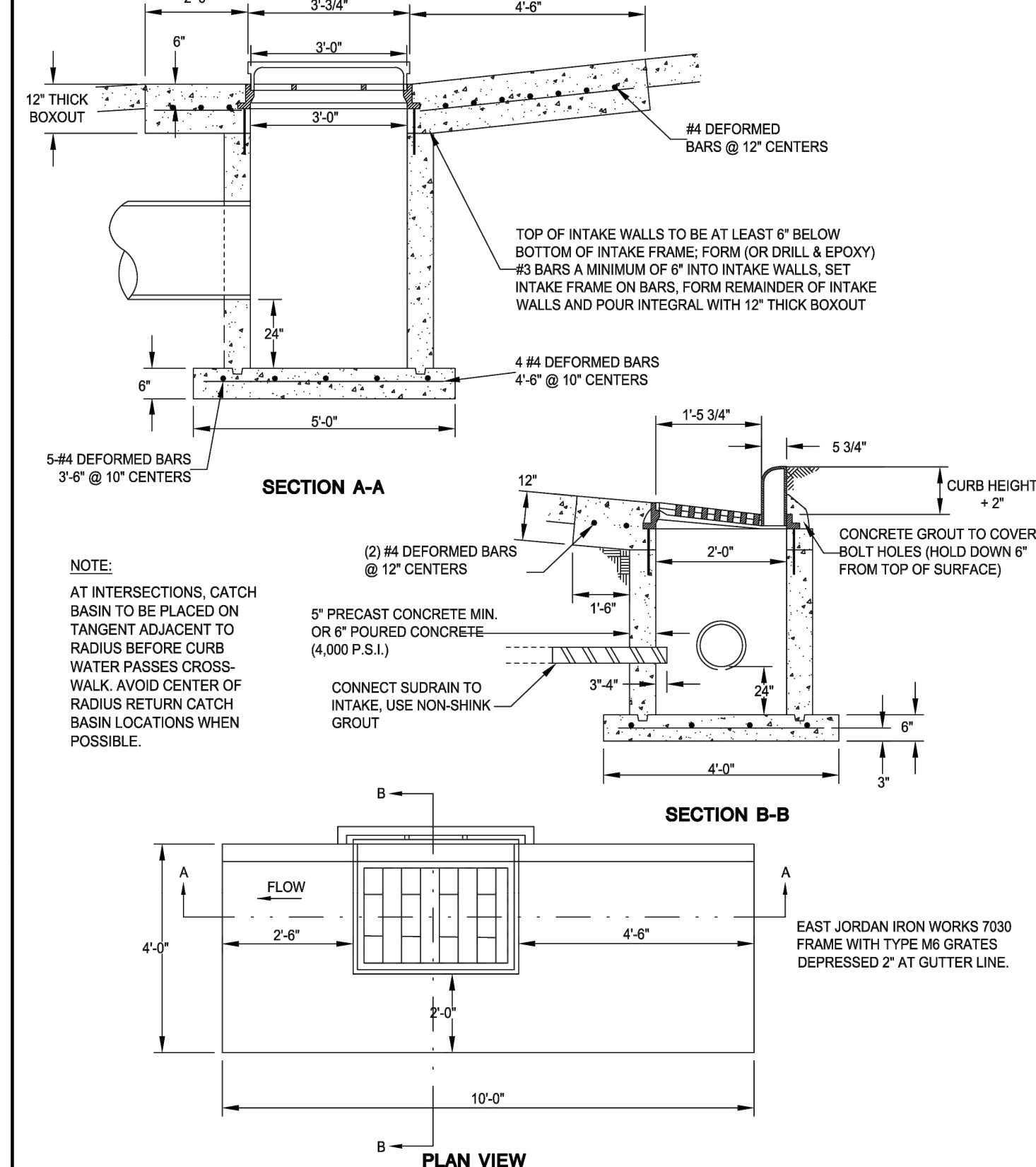
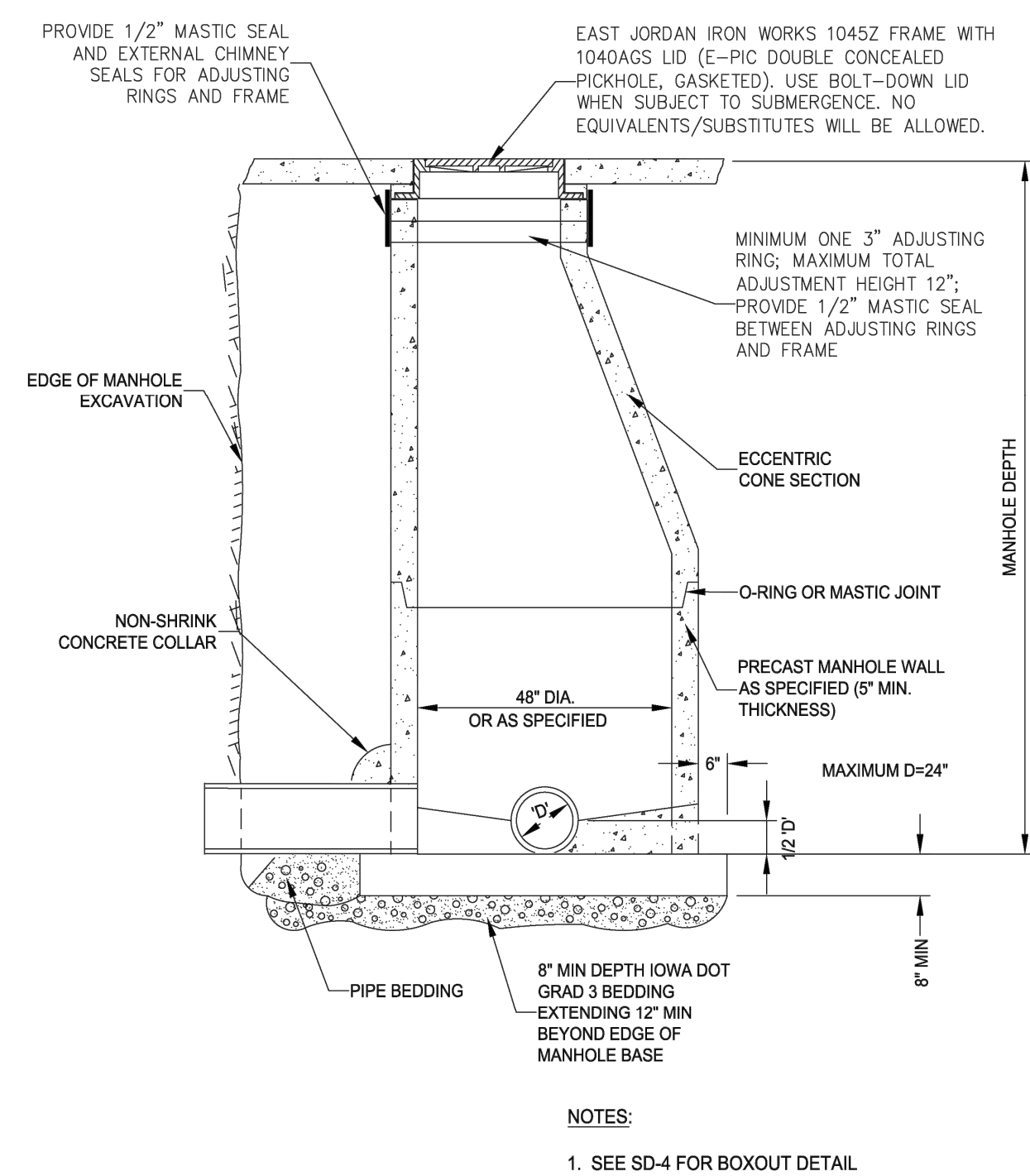
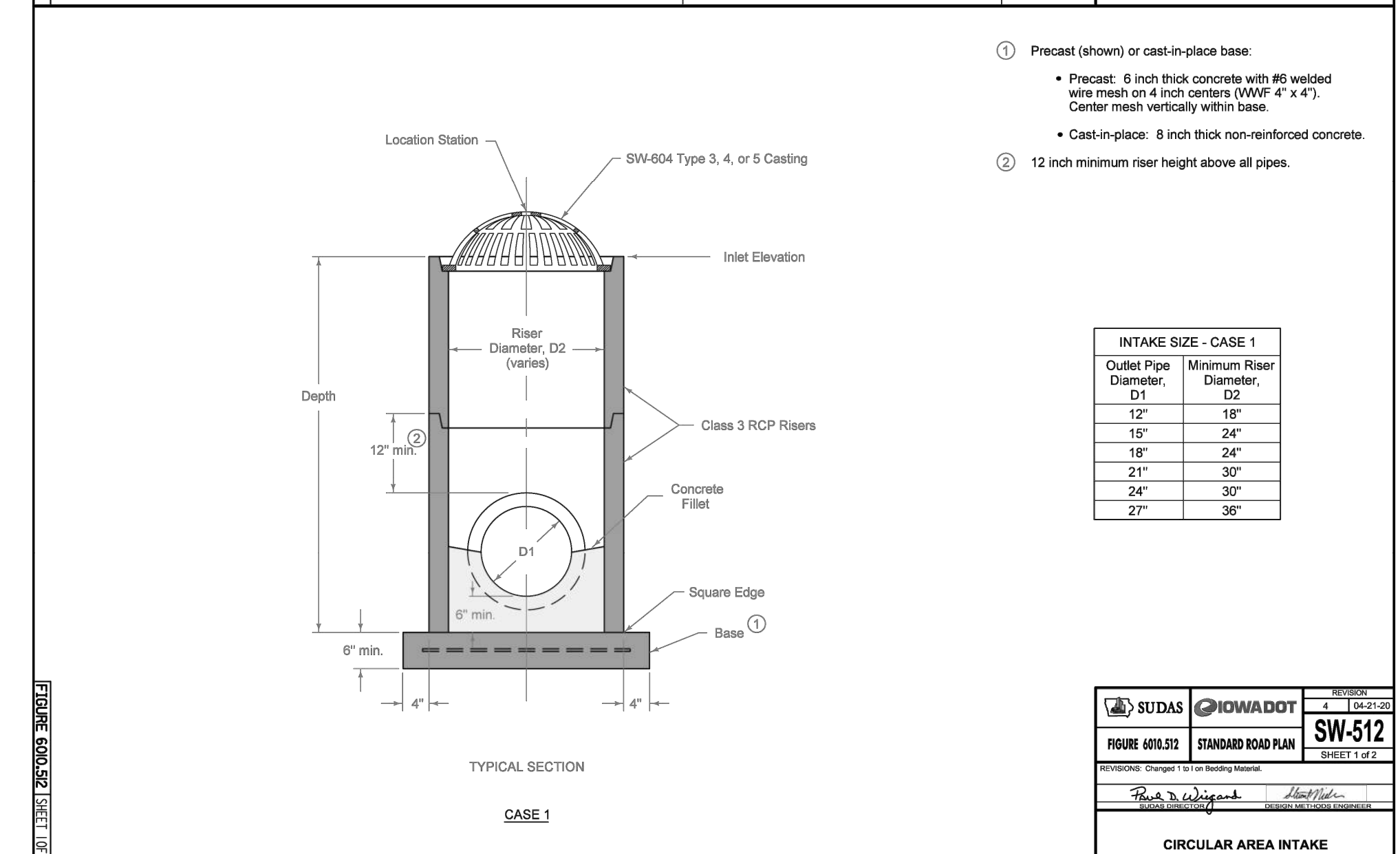
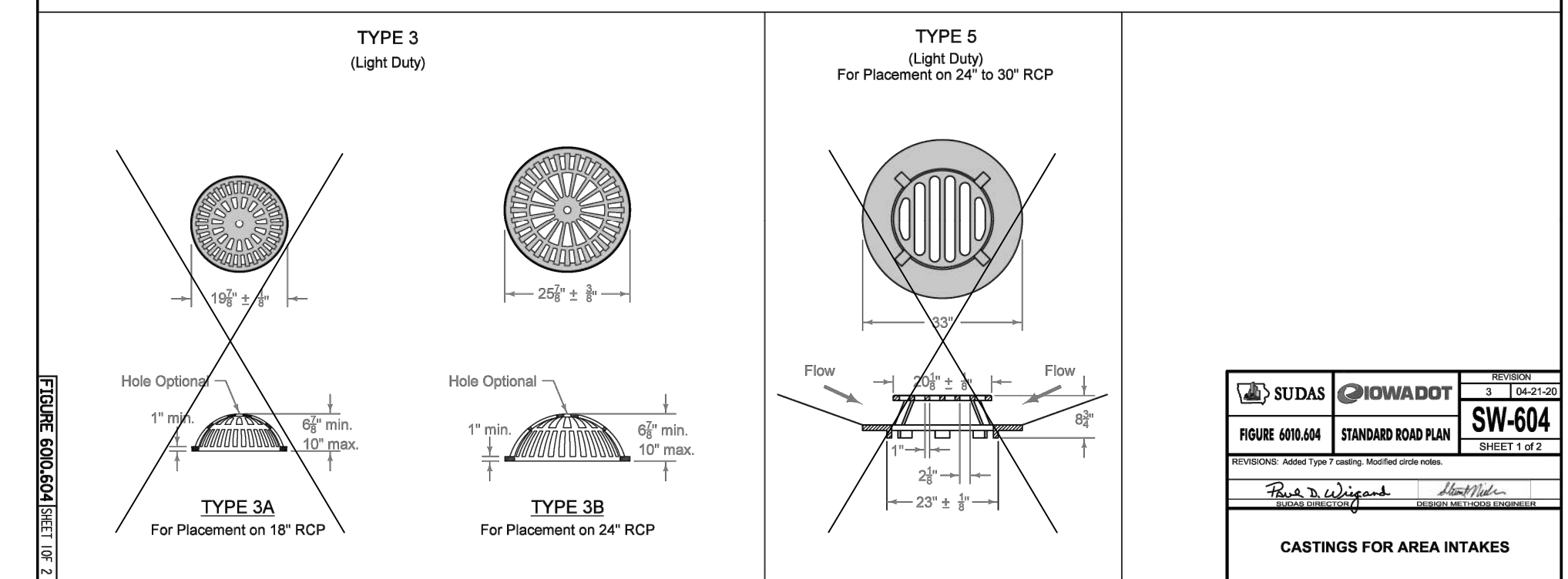
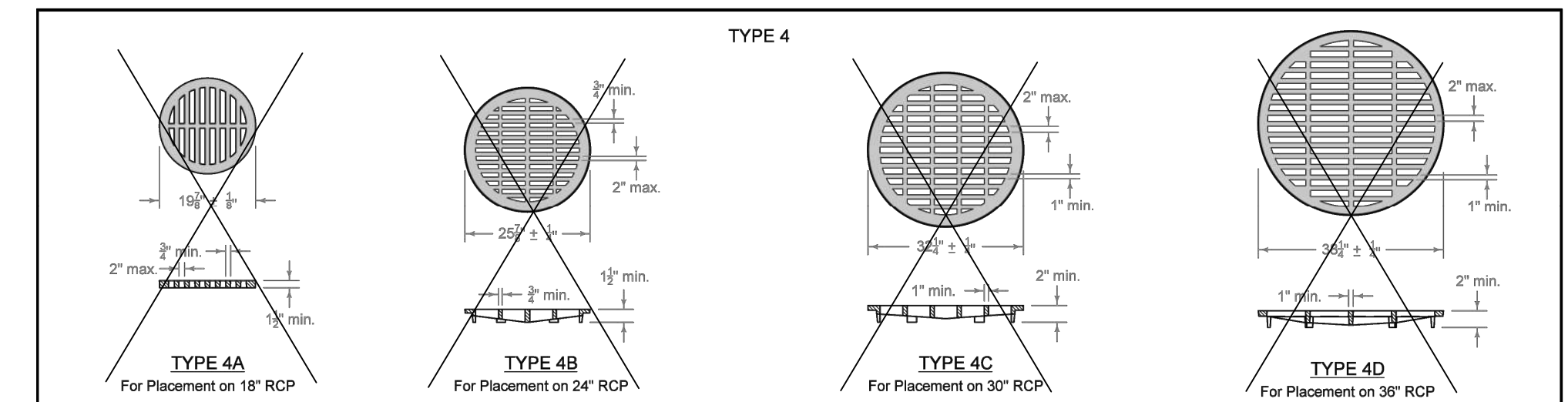
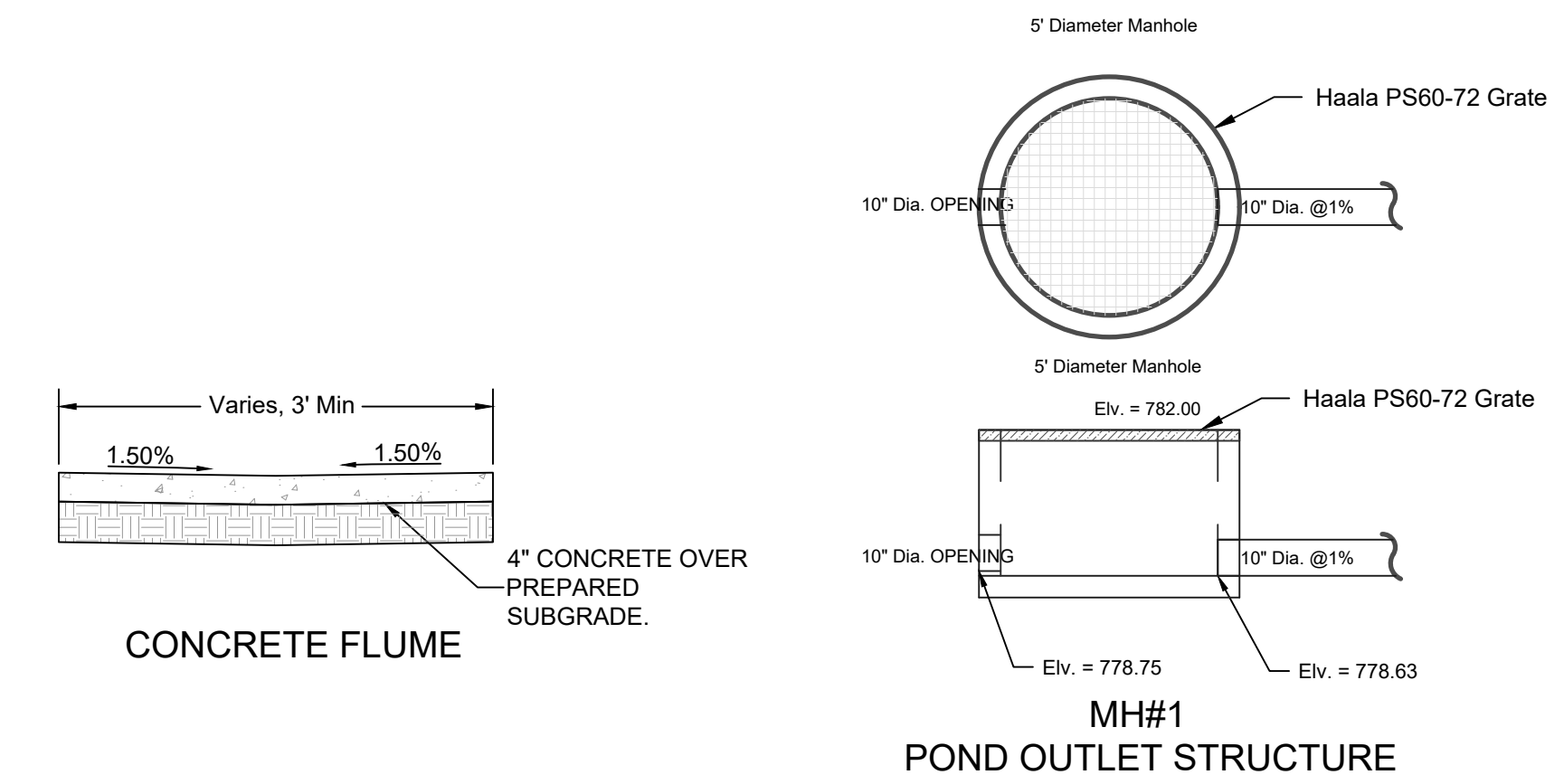
CONSTRUCT CURB INLET				
STRUCTURE	TYPE	BACK OF CURB	PIPE INVERT	SUMP
CI-1	Single	786.49	15" N INV IN = 782.92' 15" S INV OUT = 780.88'	2.00'
CI-2	Single	786.48	15" S INV OUT = 783.23'	2.00'
CI-3	Single	784.82	15" W INV IN = 780.07' 18" NE INV OUT = 779.66'	2.00'
CI-4	Single	784.82	15" S INV IN = 780.58' 15" E INV OUT = 780.38'	2.00'

STORM PIPE TABLE					
PIPE NAME	LOCATION	SIZE	MATERIAL	LENGTH	SLOPE
P-1	MH-1 TO FES-1	10"	HDPE PIPE	39'	1.00%
P-2	CI-1 TO FES-2	15"	RCP	38'	1.00%
P-3	CI-2 TO CI-1	15"	RCP	31'	1.00%
P-4	CI-3 TO FES-3	18"	RCP	41'	1.00%
P-5	CI-4 TO CI-3	15"	RCP	31'	1.00%
P-6	AI-1 TO CI-4	15"	RCP	15'	1.00%
P-7	AI-2 TO AI-1	15"	RCP	101'	1.00%
P-8	MH-1 TO	10"	PVC PIPE	1'	0.00%

CONSTRUCT AREA INLET			
STRUCTURE	RIM	PIPE INVERT	STYLE
AI-1	783.58	15" W INV IN = 780.74' 15" N INV OUT = 780.73'	SUDAS SW-512
AI-2	784.47	15" E INV OUT = 781.75'	SUDAS SW-512

CONSTRUCT MANHOLE		
STRUCTURE	RIM	PIPE INVERT
MH-1	782.00	10" SE INV OUT = 778.63' 10" NW INV OUT = 778.75'

CONSTRUCT FLARED END SECTION	
STRUCTURE	PIPE INVERT
FES-1	10" NW INV = 778.24'
FES-2	15" N INV = 780.50'
FES-3	18" SW INV = 779.25'



CITY OF ELDRIDGE	Detail Description: STANDARD STORM MANHOLE	Date: 3/20/17
		Detail Number: SD-5

CITY OF ELDRIDGE	Detail Description: SINGLE CATCH BASIN DETAIL	Date: 08/18/17
		Detail Number: SD-14

CITY OF ELDRIDGE	Detail Description: FLARED END SECTION	Date: 3/20/17
		Detail Number: SD-17



DATE: 1/10/2025  
563 386.4236 office 386.4231 fax  
2224 East 12th Street, Davenport, IA 52803

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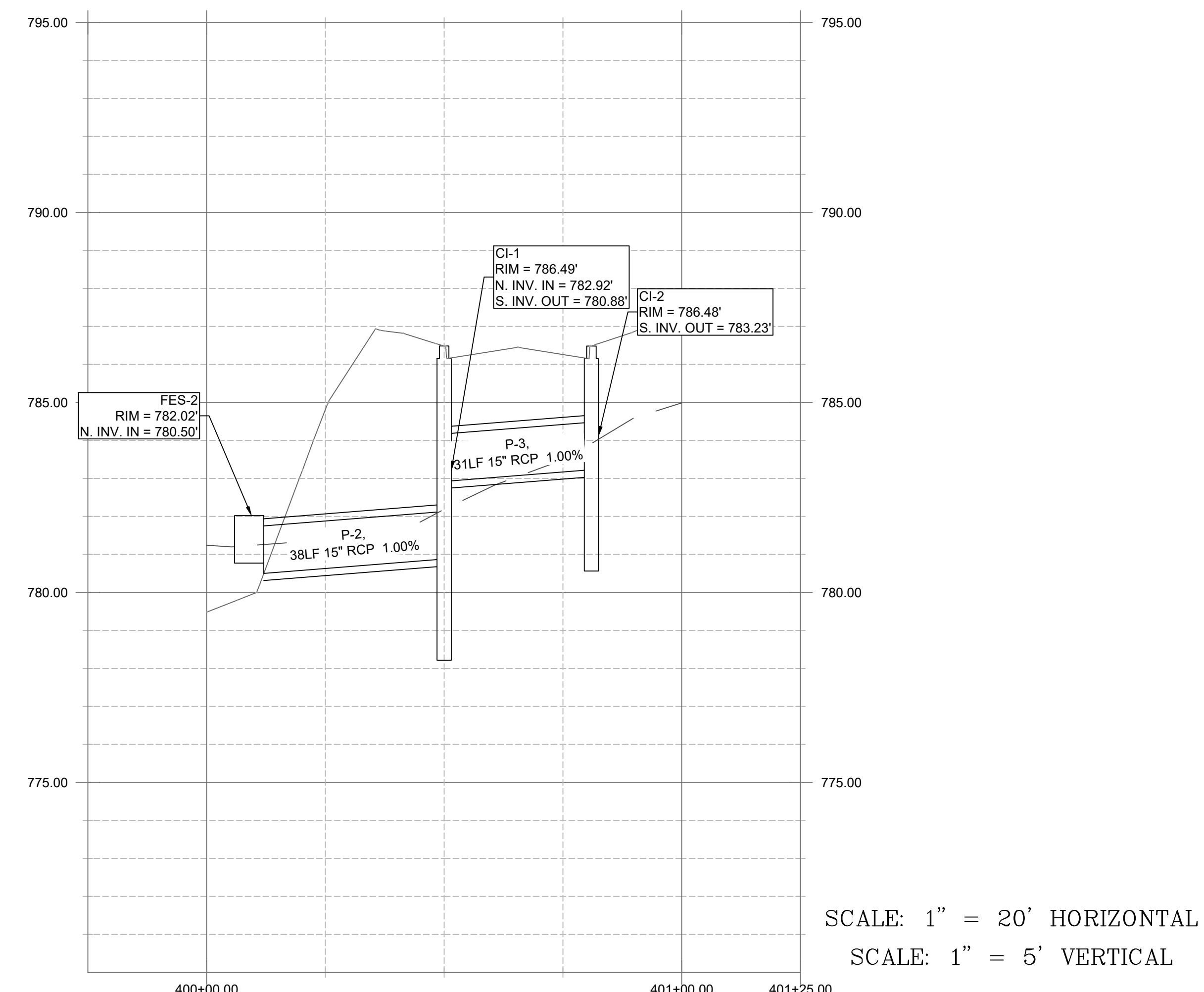
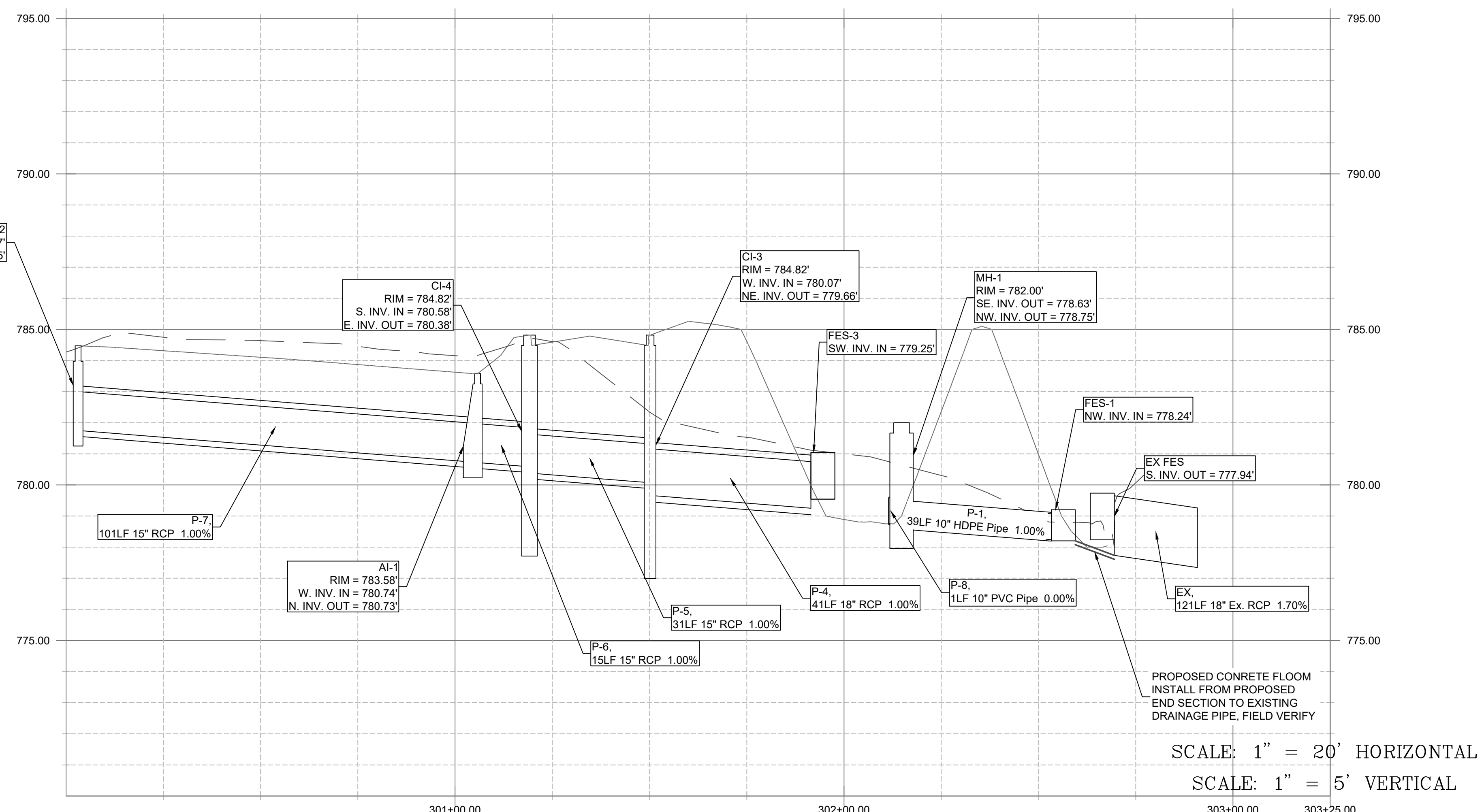
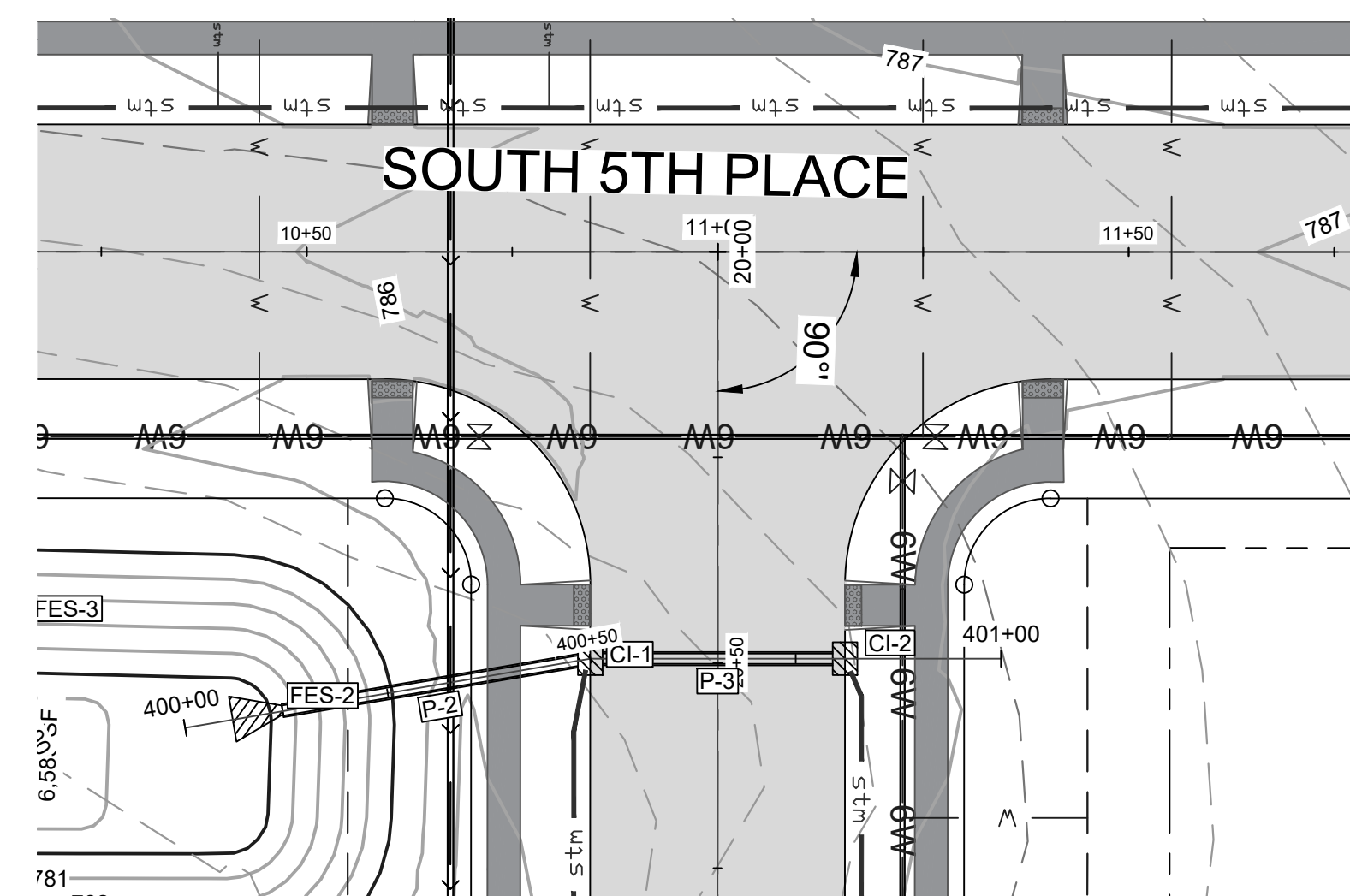
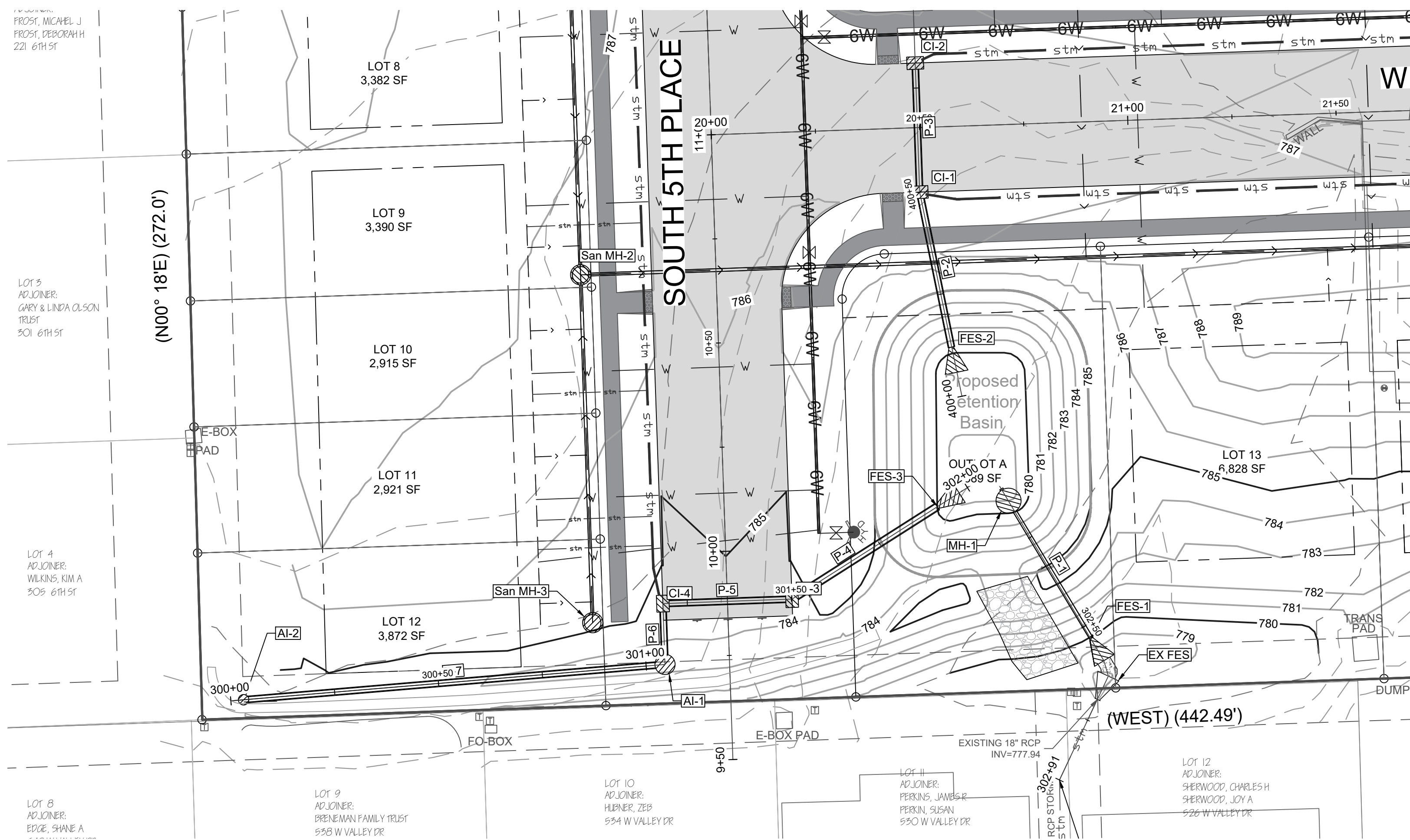
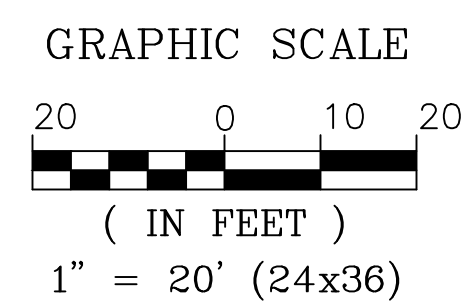
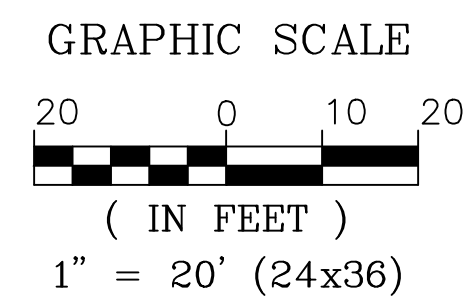
NO.	REVISIONS: DESCRIPTION	DATE

PROJECT: STORM TABLES & DETAILS  
LANCERS RUN SUBDIVISION  
208 5TH STREET  
ELDRIDGE, IA 52748

DEVELOPER: NORTH SCOTT SCHOOL DISTRICT  
200 S 1ST STREET  
ELDRIDGE, IA 52748

SHEET NO. C7.0

# NORTH SCOTT SCHOOL DISTRICT LANCERS RUN SUBDIVISION TO THE CITY OF ELDRIDGE, IA



EROSION CONTROL PLAN

# NORTH SCOTT SCHOOL DISTRICT LANCERS RUN SUBDIVISION TO THE CITY OF ELDRIDGE, IA

GRAPHIC SCALE  
30 0 15 30  
( IN FEET )  
1" = 30' (24x36)

**EROSION CONTROL NOTES:**

- THIS PROJECT WILL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS FOR THE CITY OF ELDRIDGE AND THE IOWA DEPARTMENT NATURAL RESOURCES, LATEST EDITIONS.
- ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL CONFORM TO THE IOWA CONSTRUCTION SITE EROSION CONTROL MANUAL, LATEST EDITION.
- THE EROSION AND SEDIMENTATION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIRED. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER OR GOVERNING AGENCY. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY GRADING OPERATIONS. PRESERVE EXISTING VEGETATION WHEN POSSIBLE BY DISTURBING THE SMALLEST POSSIBLE AREA DURING CONSTRUCTION.
- ALL STORM SEWER FACILITIES THAT ARE OR WILL BE FUNCTIONING DURING CONSTRUCTION SHALL BE PROTECTED BY FABRIC OR GRAVEL FILTERS OR OTHERWISE MAINTAINED TO REMOVE SEDIMENT.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR INSPECTION AND REPAIR DURING CONSTRUCTION. THE OWNERS WILL BE RESPONSIBLE IF EROSION CONTROL IS REQUIRED AFTER THE CONTRACTOR HAS COMPLETED THE PROJECT.
- STOCK PILES SHALL BE LOCATED AWAY FROM ANY ROADS, OPEN DITCHES, STORM SEWER OR WATERWAYS. STOCK PILES SHALL BE IMMEDIATELY PROTECTED WITH TEMPORARY SEEDING IF NOT SCHEDULED TO BE USED WITHIN 14 DAYS. SILT FENCES SHALL BE INSTALLED AS NEEDED IMMEDIATELY AFTER SOIL IS STOCK PILED.
- TOTAL AREA DISTURBED DURING GRADING OPERATIONS = ±2.61 ACRES. AN NPDES PERMIT No. 2 WILL BE REQUIRED PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES.
- TEMPORARY SEEDING OF ALL DISTURBED AREAS SHALL BE DONE IMMEDIATELY AFTER THE COMPLETION OF SITE GRADING OPERATIONS. IF CONSTRUCTION ACTIVITIES ARE NOT PLANNED OR SUSPENDED FOR AT LEAST 14 DAYS, THE AREA SHALL BE IMMEDIATELY STABILIZED BY TEMPORARY SEEDING AND MULCHING. FAST GERMINATING GRASSES SHALL BE USED FOR TEMPORARY SEEDING (SEE TABLE "A").

TABLE "A" - TEMPORARY SEEDING SPECIES, RATES AND DATES

SPECIES	POUNDS PER ACRE	POUNDS PER 1000 S.F.	SEEDING DATES
OATS	90	90	EARLY SPRING - JULY 1
CEREAL RYE	90	90	EARLY SPRING - SEPT. 30
WHEAT	90	90	EARLY SPRING - SEPT. 30
PERENNIAL RYE GRASS	25	25	EARLY SPRING - SEPT. 30

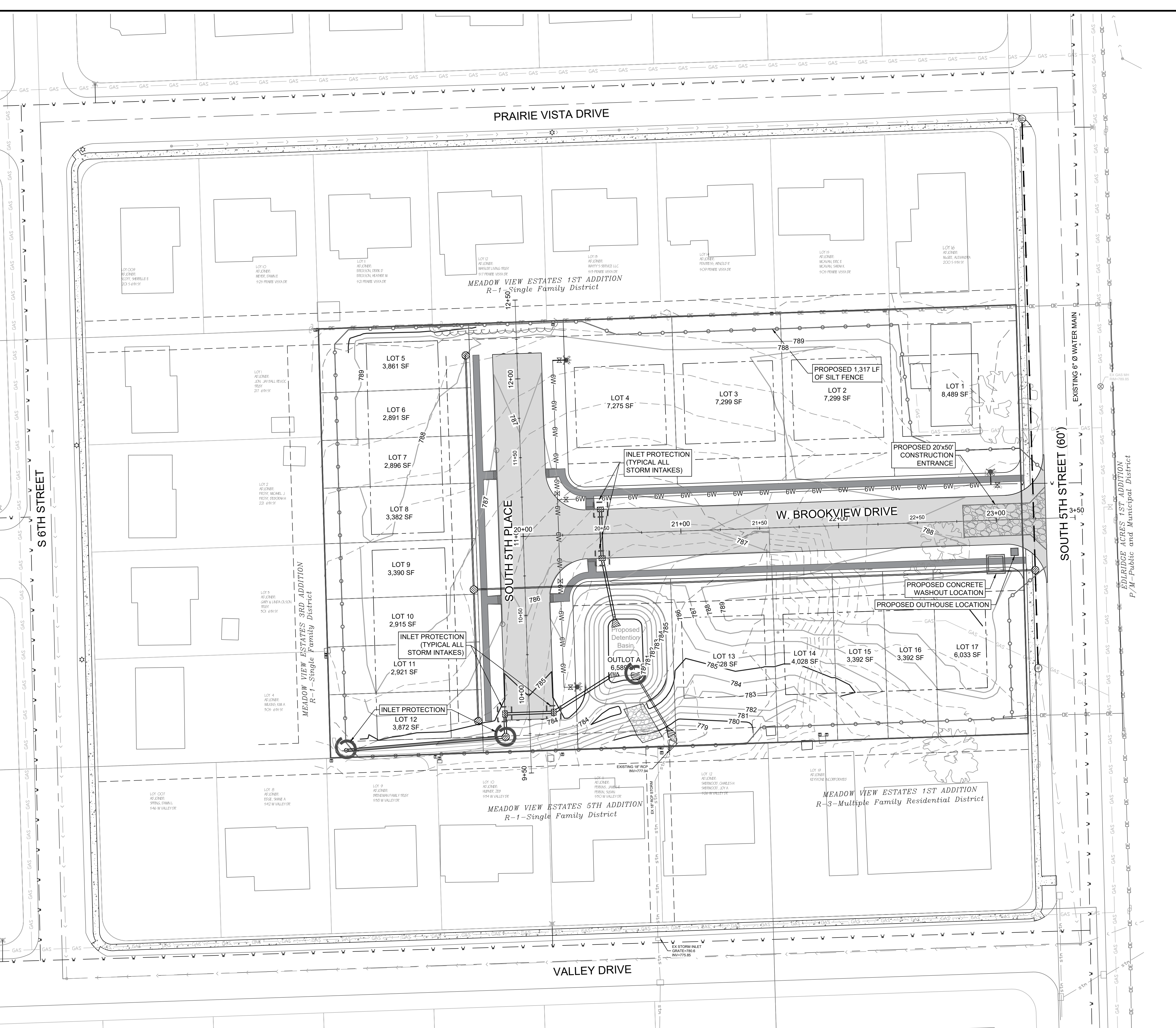
  

PERMANENT SEEDING MIXTURE:	LBS/ACRE
ALTA FESCUE	50
PERENNIAL RYE GRASS	30
CREeping RED FESCUE	20
OATS, SPRING	48

- WHEN SEEDINGS ARE MADE ON CRITICAL OR ADVERSE SOIL CONDITIONS, MULCH MATERIAL WILL BE APPLIED IMMEDIATELY AFTER SEEDING. SHOULD SEEDING BE MADE DURING OPTIMUM SEEDING DATES AND WITH FAVORABLE SOILS ON VERY FLAT AREAS MAY NOT NEED TO BE MULCHED.
- ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND DISPOSED OF WHEN THEY HAVE SERVED THEIR USEFULNESS, BUT NOT BEFORE THE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CLEANED OR REPLACED WHEN THEY HAVE LOST 50% OF THEIR CAPACITY.
- SEDIMENT CLEANUP SHALL BE PERFORMED AT THE END OF EACH CONSTRUCTION DAY TO REMOVE SEDIMENTS FROM EXISTING PAVEMENT. STABILIZATION STONE CONSTRUCTION ENTRANCES MAY BE REQUIRED TO PREVENT OFFSITE TRACKING OF SEDIMENTS AND DUST DURING CONSTRUCTION. THICKNESS SHALL BE 6 INCHES OR GREATER, WIDTH SHALL BE A MINIMUM OF 14 FEET, AND LENGTH SHALL BE A MINIMUM OF 50 FEET. DUST CONTROL MEASURES SUCH AS IRRIGATION MAY ALSO BE REQUIRED.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED WEEKLY TO LOCATE DAMAGE AND CONDUCT MAINTENANCE OPERATIONS.
- THE CONTRACTOR AND EACH SUBCONTRACTOR RESPONSIBLE FOR WATER POLLUTION CONTROL SHALL DESIGNATE, PRIOR TO BEGINNING CONSTRUCTION, A PERSON OR PERSONS WHO CAN BE CONTACTED IN AN EMERGENCY INVOLVING THEIR WATER POLLUTION CONTROL ITEMS. THESE DESIGNATED PEOPLE SHALL BE AVAILABLE TO REPAIR AND MAINTAIN WATER POLLUTION CONTROL DEVICES ON A 24-HOUR PER DAY BASIS.
- THE LOCATION OF CONSTRUCTION PARKING, EQUIPMENT & MATERIAL STORAGE, HAZARDOUS MATERIAL/CHEMICAL STORAGE, SANITARY FACILITIES, JOB TRAILER, AND SNOW STOCKPILES SHALL BE INDICATED ON THE EROSION CONTROL PLAN AND SWPPP DOCUMENTS BY THE ONSITE MANAGER WHEN THE LOCATION BECOMES KNOWN. BACK OF CURB PROTECTION MUST BE ADDED AS NEEDED THROUGHOUT THE SUBDIVISION DEVELOPMENT AND HOME BUILDING ACTIVITIES.

**EROSION CONTROL LEGEND:**

	TYP. SILT FENCE (SUDAS 9040.119)		12' FILTER SOCK @35' MAXIMUM SPACING (SUDAS 7E-4)
	TYP. MH INLET PROTECTION (SUDAS 7E-20)		12' FILTER SOCK FLARED END SECTION INTAKE PROTECTION
	TYP. SILT FENCE CHECK DAM (SUDAS 9040.106)		PORTA-POT TEMPORARY TOILET
	NORTH AMERICAN GREEN S755N TURF REINFORCEMENT MAT OR APPROVED EQUAL PER MANUFACTURERS SPECIFICATIONS; EXTEND MATTING TO TOP OF SLOPE		SUDAS APPROVED CONCRETE WASHOUT LOCATION
	FINAL BACK OF CURB FILTER SOCK		STABILIZED CONSTRUCTION ENTRANCE (SUDAS 9040.12)



DATE: 1/10/2025  
 563 386.4236 office 386.4231 fax  
 2224 East 12th Street, Davenport, IA 52803

DRAWN BY: PAR  
 CHECKED BY: CRT  
 DRAWING LOCATION: S:NORTH SCOTT SCHOOLS 5TH STREET SUBDIVISION DRAWINGS

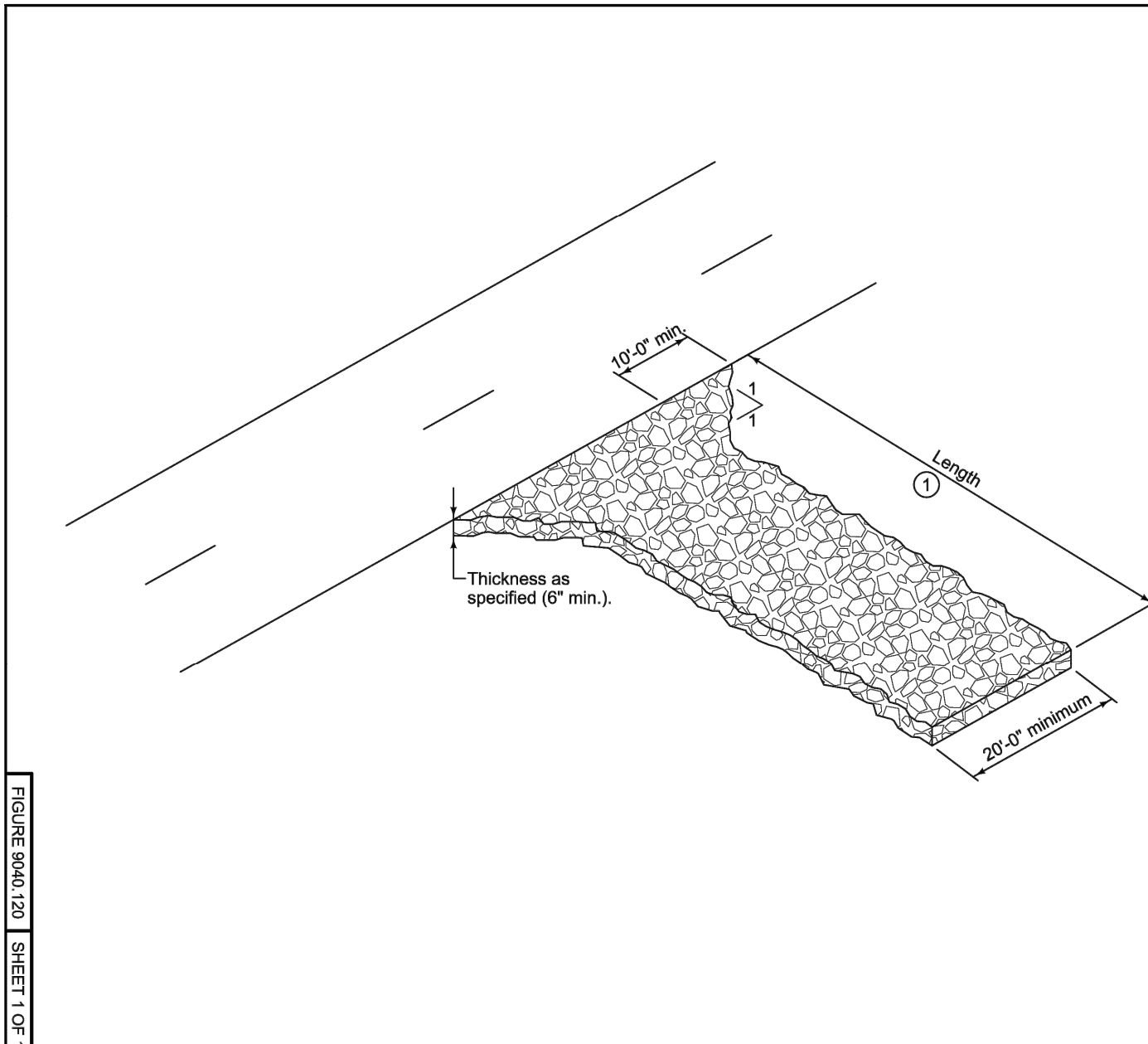
NO.	REVISIONS: DESCRIPTION	DATE

PROJECT: EROSION CONTROL PLAN  
 LANCERS RUN SUBDIVISION  
 208 5TH STREET  
 ELDRIDGE, IA 52748

DEVELOPER: NORTH SCOTT SCHOOL DISTRICT  
 200 S 1ST STREET  
 ELDRIDGE, IA 52748

SHEET NO. **C8.0**

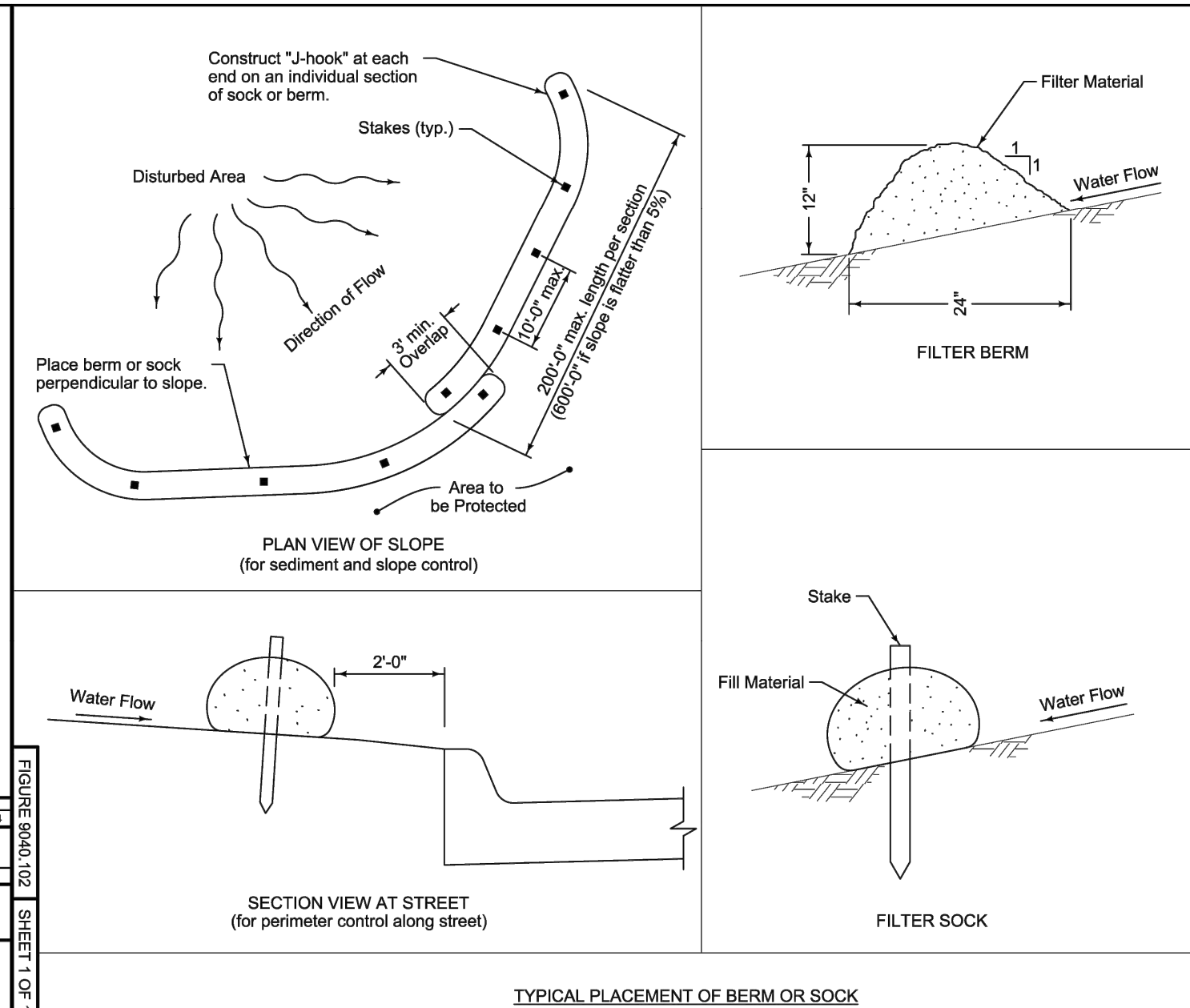
# NORTH SCOTT SCHOOL DISTRICT LANCERS RUN SUBDIVISION TO THE CITY OF ELDRIDGE, IA



① Entrance length: 50 foot minimum (30 foot for single family residential), or as specified in the contract documents. Length of entrance may be increased if sediment track-out occurs.

**SUDAS**  
9040.120  
SHEET 1 OF 1

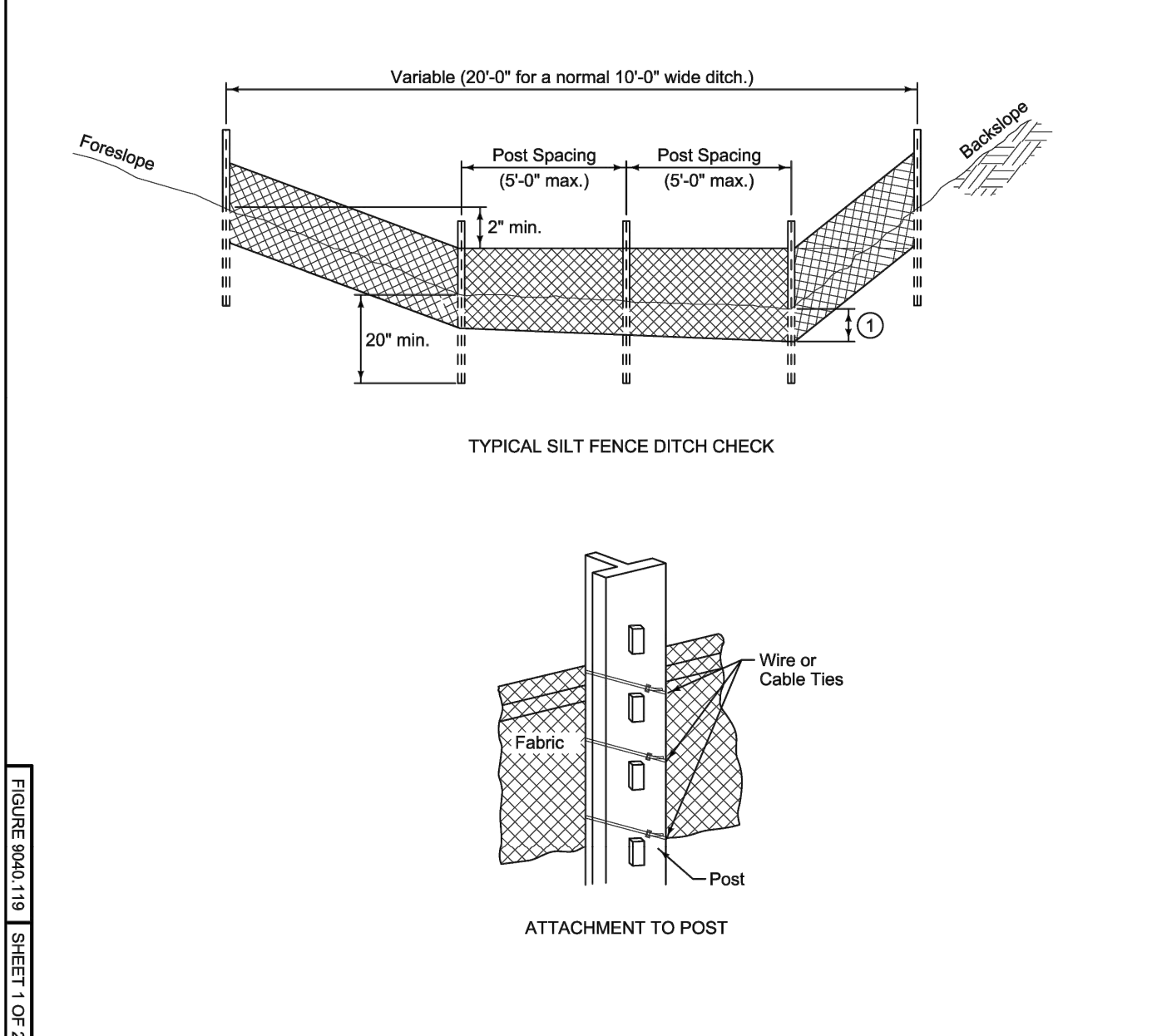
SUDAS Standard Specifications  
STABILIZED CONSTRUCTION ENTRANCE



Berm shown is typical for slopes flatter than 3:1. For steeper slopes, increase berm size as directed by the Engineer.  
Place berm in uncompacted windrow perpendicular to the slope at locations specified in the contract documents.  
Filter sock diameter as specified in the contract documents.

**SUDAS**  
9040.102  
SHEET 1 OF 1

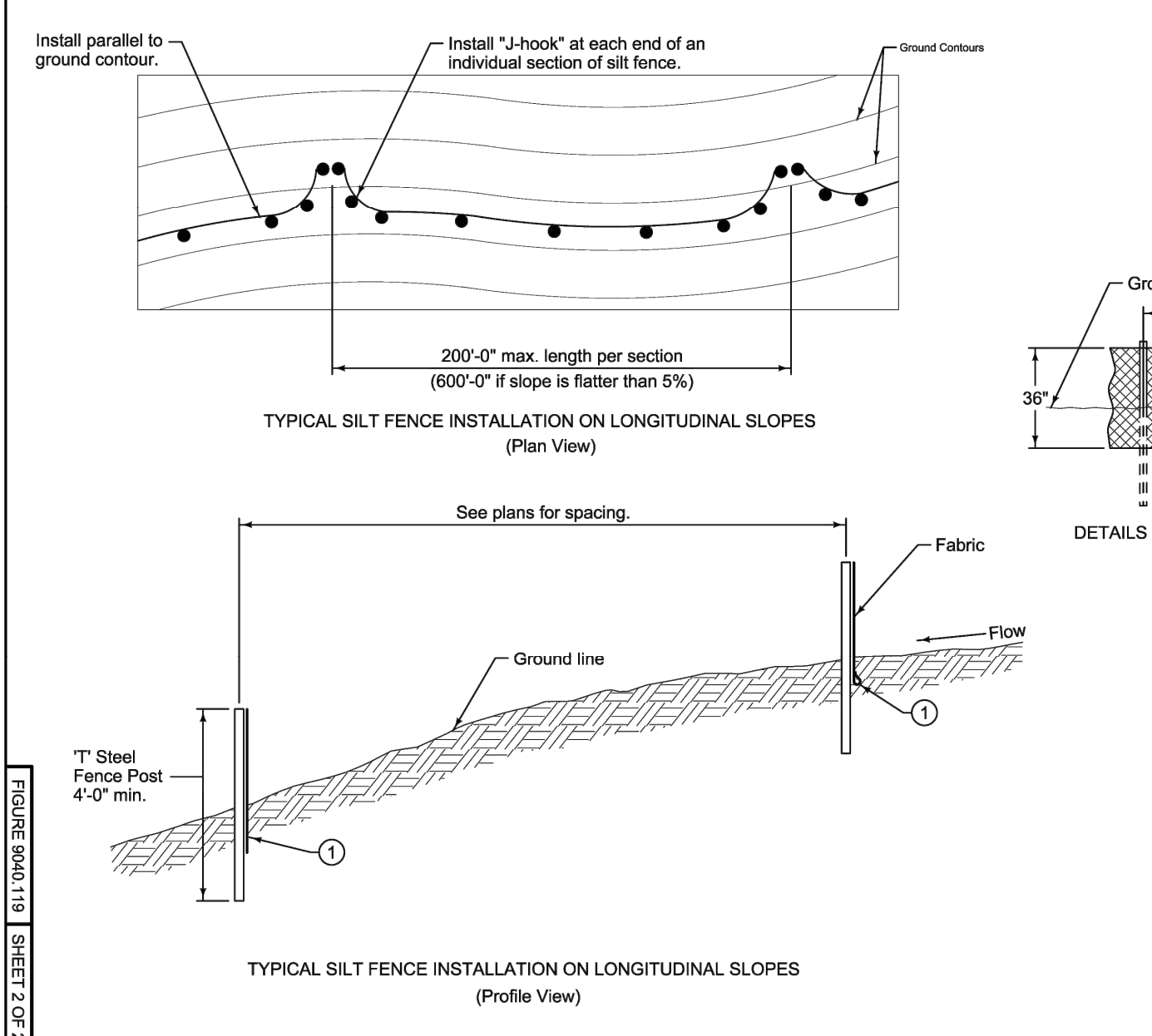
SUDAS Standard Specifications  
FILTER BERM AND FILTER SOCK



① Insert 12 inches of fabric a minimum of 6 inches deep (fabric may be folded below the ground line).

**SUDAS**  
9040.119  
SHEET 1 OF 2

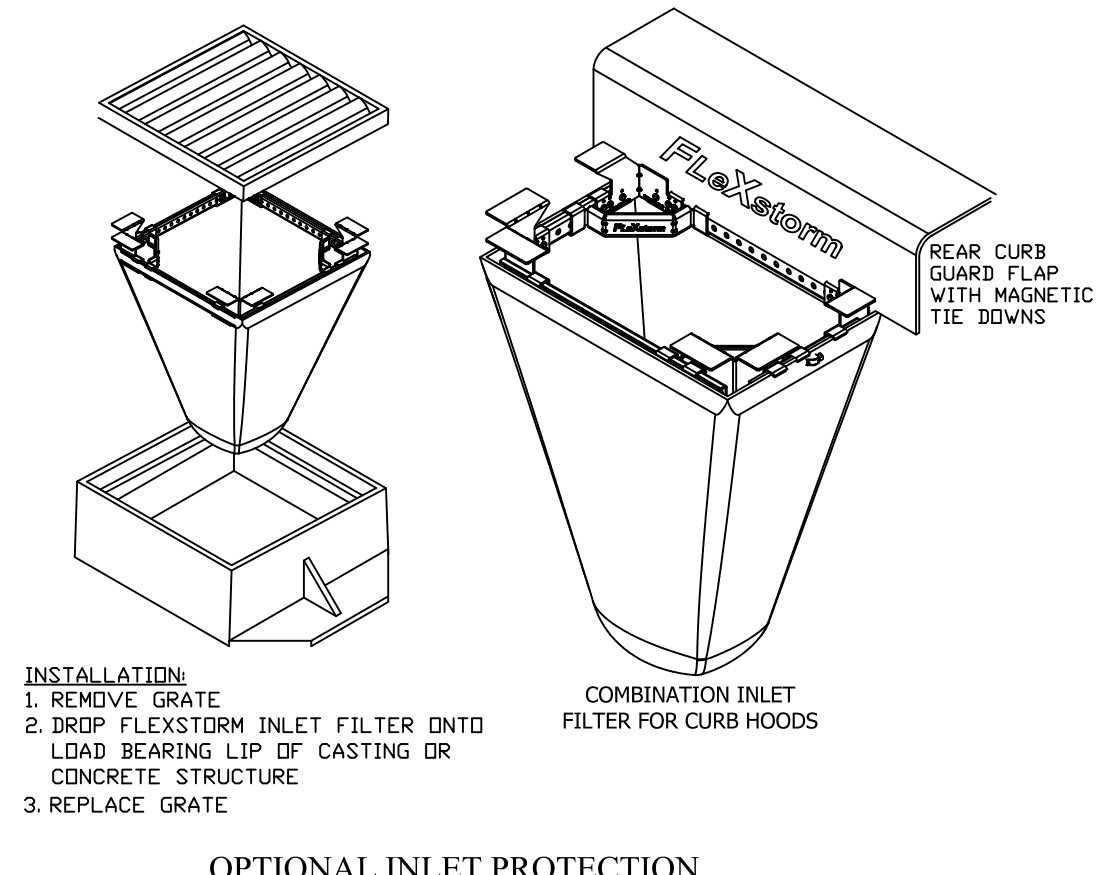
SUDAS Standard Specifications  
SILT FENCE



① Insert 12 inches of fabric a minimum of 6 inches deep (fabric may be folded below the ground line).  
② Reduce post spacing to 5'-0" at water concentration areas, or as required to adequately support fence.

**SUDAS**  
9040.119  
SHEET 2 OF 2

SUDAS Standard Specifications  
SILT FENCE



**OPTIONAL INLET PROTECTION**  
NOT TO SCALE

**INSTALLATION:**  
1. REMOVE GRATE  
2. DRIP FLEXISTORM INLET FILTER ONTO LEAD BEARING LIP OF CASTING OR CONCRETE STRUCTURE  
3. REPLACE GRATE

**COMBINATION INLET FILTER FOR CURB HOODS**

**ADDITIONAL EROSION CONTROL NOTES:**  
ALL SILT FENCE MUST BE INSTALLED BY THE CONTRACTOR AND INSPECTED BY THE CITY PRIOR TO ANY SITE WORK.  
SITE EROSION CONTROL MEASURES MUST BE IN PLACE AT ALL TIMES. SHOULD DEVICES BE REMOVED FOR WORK ACCESS, THEY SHALL BE REINSTALLED AT THE END OF EACH WORK DAY UNTIL PAVEMENTS HAVE BEEN INSTALLED AND ALL LANDSCAPE AREAS HAVE BEEN MULCHED AND SODDED. SEEDED AREAS MUST EXHIBIT MINIMUM OF 70% SOIL COVERAGE.  
REFER TO THE SWPPP PLAN NOTES AND DETAIL SHEETS FOR MORE INFORMATION.

**Iowa SUDAS**  
Design Manual  
Chapter 7 - Erosion and Sediment Control  
7E - Design Information for ESC Measures

**7E-20**

### Inlet Protection

Source: Soil Tek

	L	M	H
Flow Control	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Erosion Control	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Sediment Control	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Runoff Reduction	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Flow Diversion	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**Description:** Inlet protection devices consist of a variety of manufactured sediment barriers and products, which are used to filter runoff before it enters the storm sewer system.

**Typical Uses:** Inlet protection is considered the last line of protection against releasing sediment into the stormwater system or a water body. Inlet protection should be considered around all stormwater intakes and culverts that accept runoff from disturbed areas.

**Advantages:**

- Provide one last opportunity to remove suspended particles from stormwater runoff.
- Areas requiring protection are easy to identify during both planning and construction.

**Limitations:**

- Available practices are not effective at removing fine particles.
- May be used improperly as the sole method of erosion and sediment control.
- Require high level of maintenance.
- Limited to treating runoff from areas of 1 acre or less.

**Longevity:** Varies by product; until sediment accumulates and clean out is required

**SUDAS Specifications:** Refer to Section 9040.2.18 and 3.24

1 Revised: 2013 Edition

**Chapter 7 - Erosion and Sediment Control**      **Section 7E-20 - Inlet Protection**

### A. Description/Uses

Inlet protection can be provided by a variety of methods. A number of new manufactured products are currently available which claim to adequately filter runoff before it enters the storm sewer intake. The effectiveness of these products has yet to be determined.

The traditional method of providing inlet protection is to construct a filter at the opening. The filter is constructed from wire mesh or a steel plate, filter fabric, and crushed stone.

### B. Design Considerations

Most inlet protection devices rely on filtering techniques or on ponding small volumes of water to remove suspended particles. In general, the only way to remove fine particles from suspension is to detain the runoff for an extended period of time. Because inlet protection devices do not have the ability to pond and store large volumes of water, they are generally considered ineffective at removing fine particles from suspension in runoff. However, they are the last line of protection against releasing sediment-laden runoff into a stormwater system or water body. In addition, they may provide some benefit by trapping a portion of the larger suspended particles.

Because of their relative inefficiency compared to other techniques, inlet protection devices should not be used on a project as the sole method of sediment removal.

The traditional method for providing inlet protection was to construct a filter at the opening. The filter was constructed from wire mesh, filter fabric, and crushed stone. Runoff flowing to the intake would percolate through the stone and filter fabric before entering the intake. This stone medium slowed the flow of water and filtered larger sediment particles from the water. Today, these methods have been replaced with alternative techniques and materials.

**Figure 7E-20.01: Filter Tubes Used for Inlet Protection**

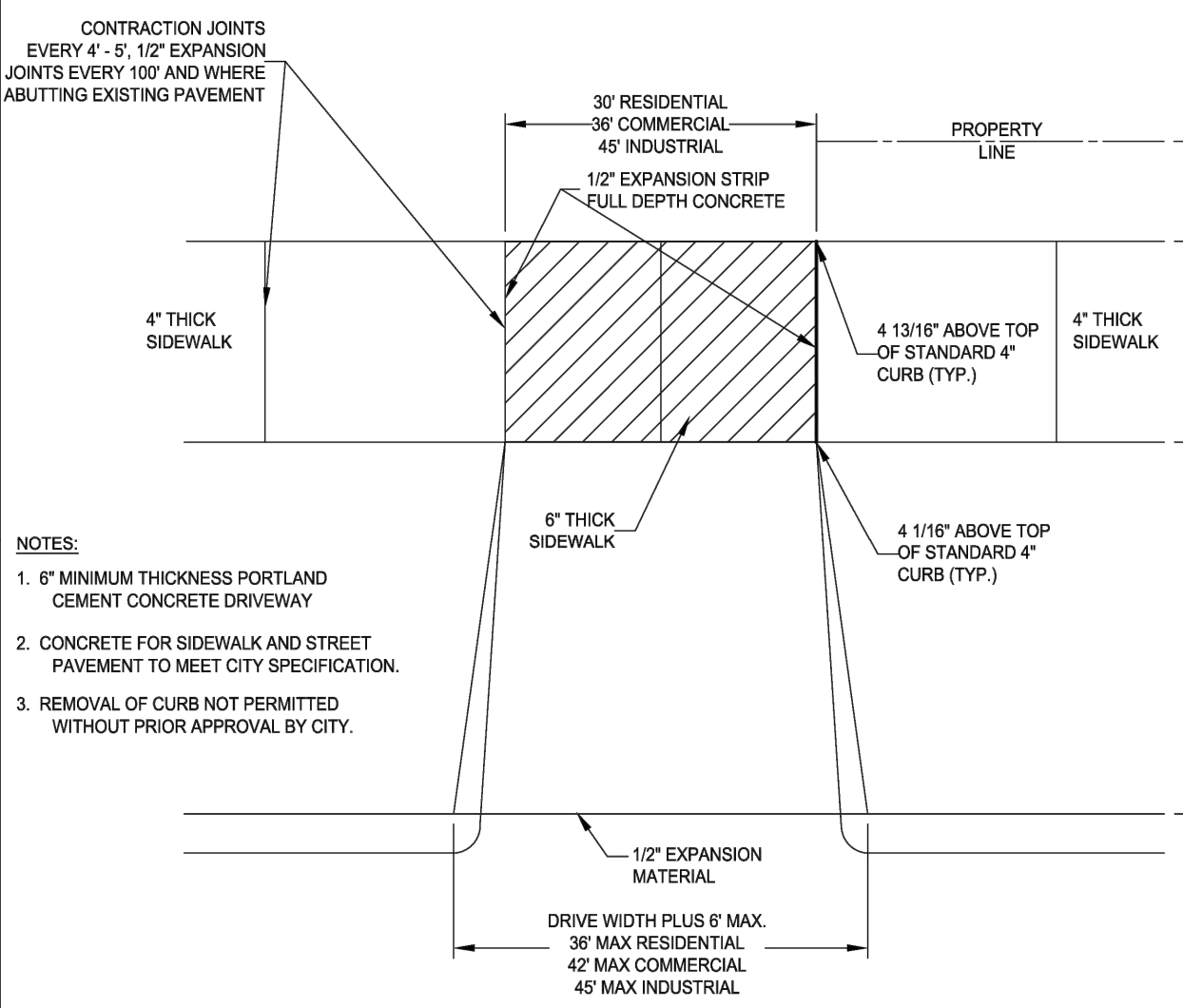
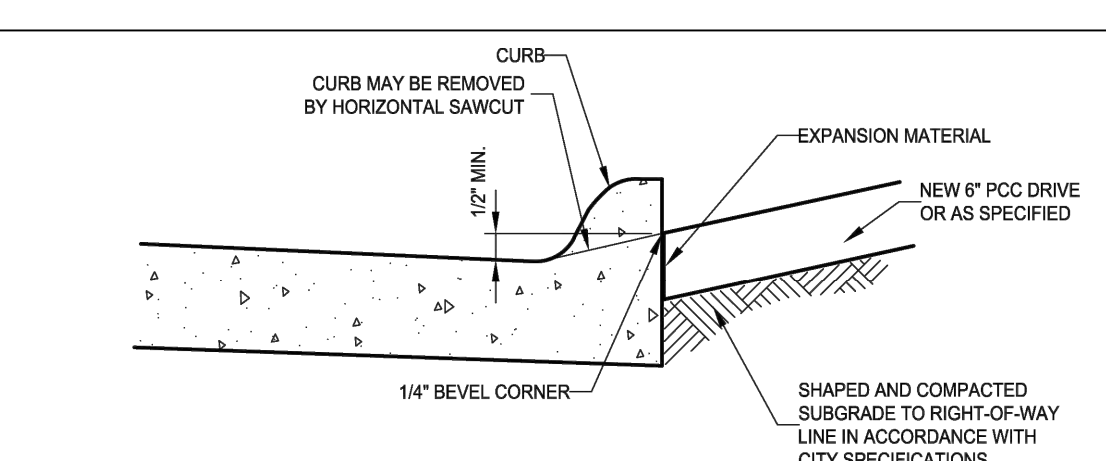
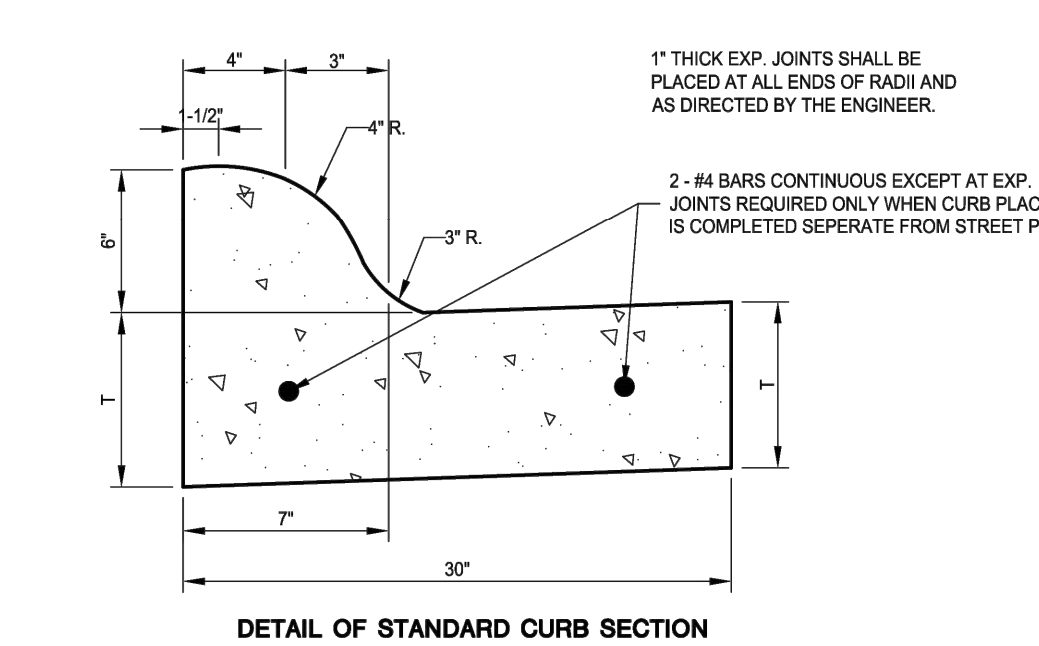
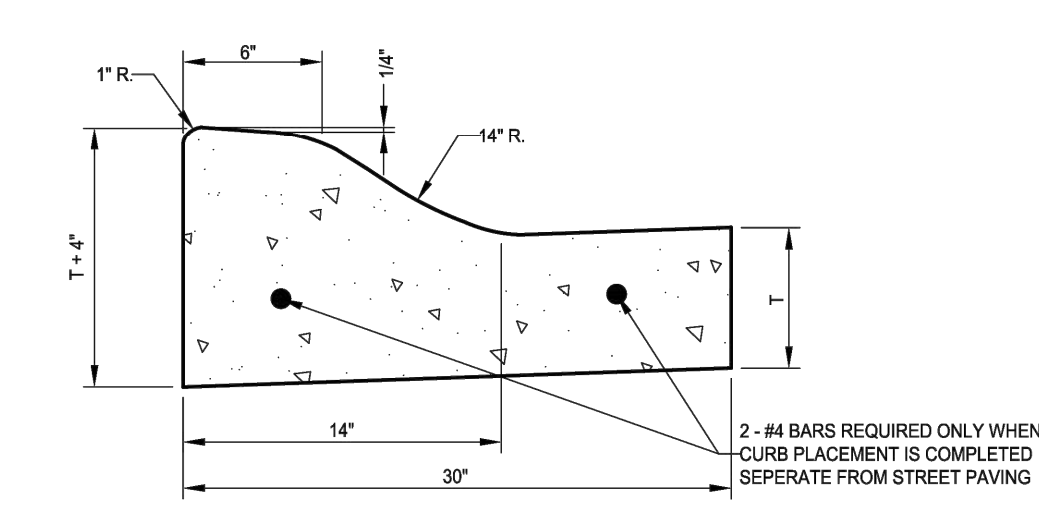
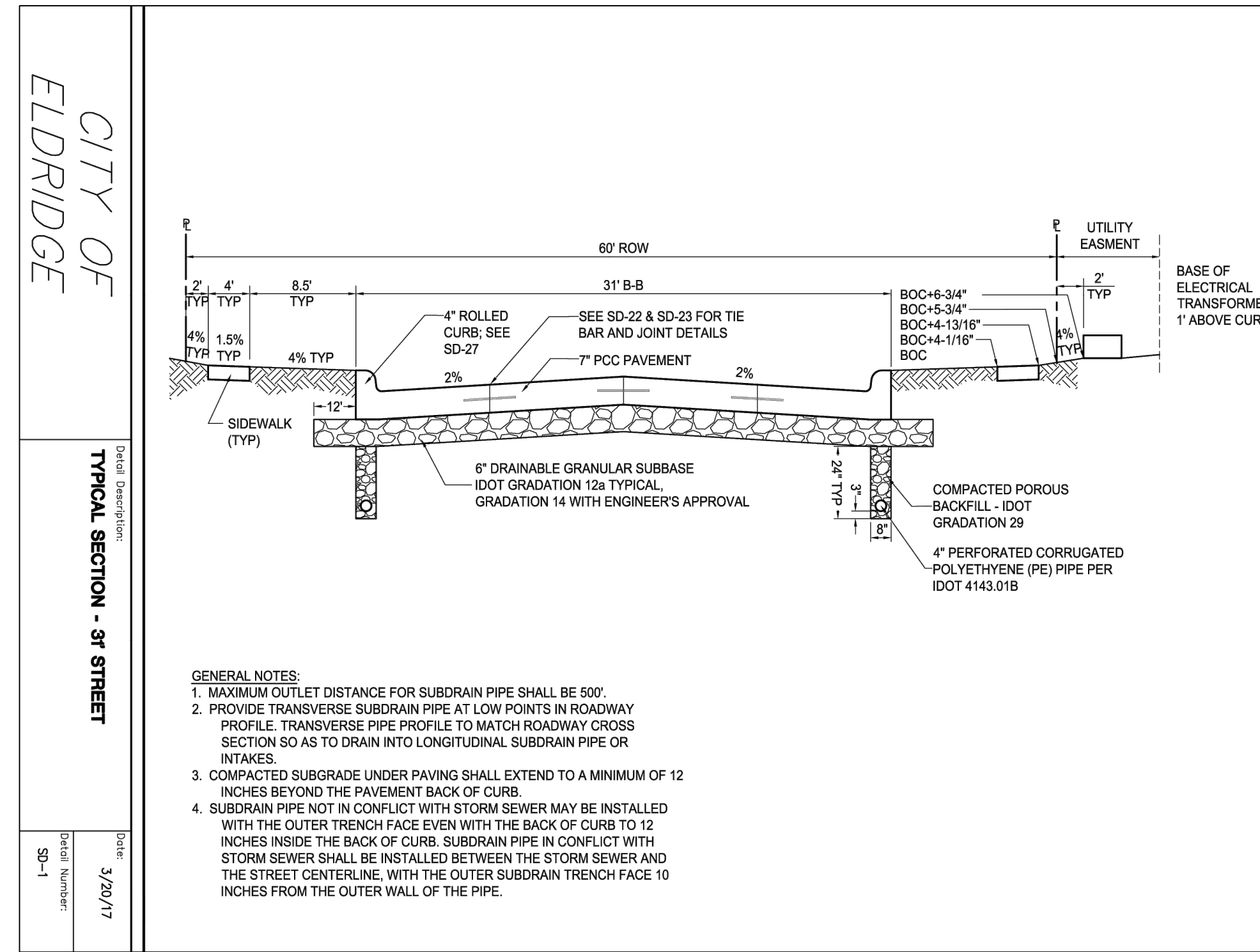
OVERLAP TUBE 1 AND SECURE WITH WIRE OR WIRE TIES

PLACE CONCRETE BLOCK OR OTHER DEVICE TO PREVENT TUBE FROM PLUGGING INTAKE

2 Revised: 2013 Edition

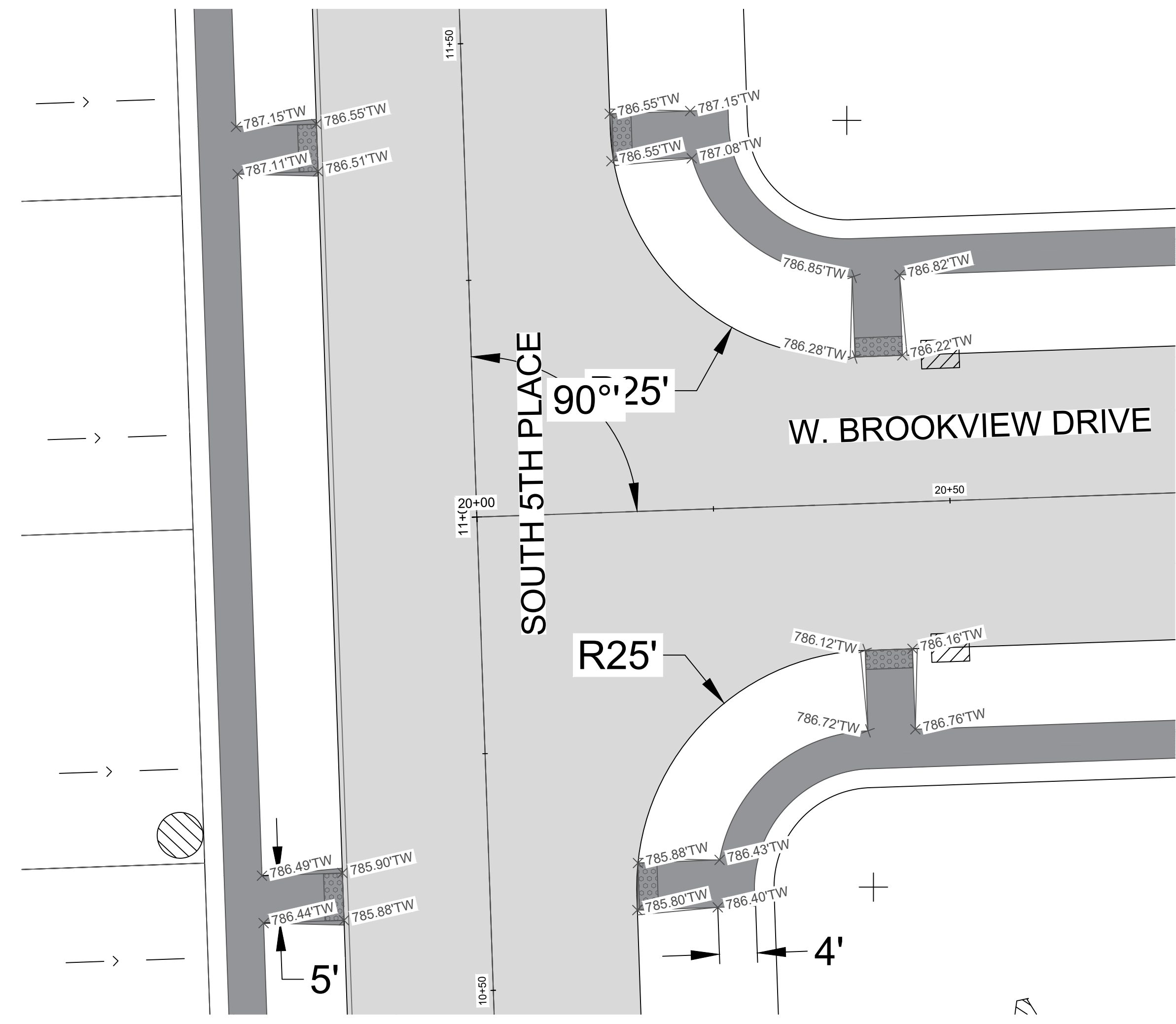
# NORTH SCOTT SCHOOL DISTRICT LANCERS RUN SUBDIVISION TO THE CITY OF ELDRIDGE, IA

GRADING LEGEND	
000.00'EX	- EXISTING SURFACE
000.00'TS	- TOP SLAB
000.00'TW	- TOP WALK
000.00'TC	- TOP CURB
000.00'FG	- FINISHED GRADE

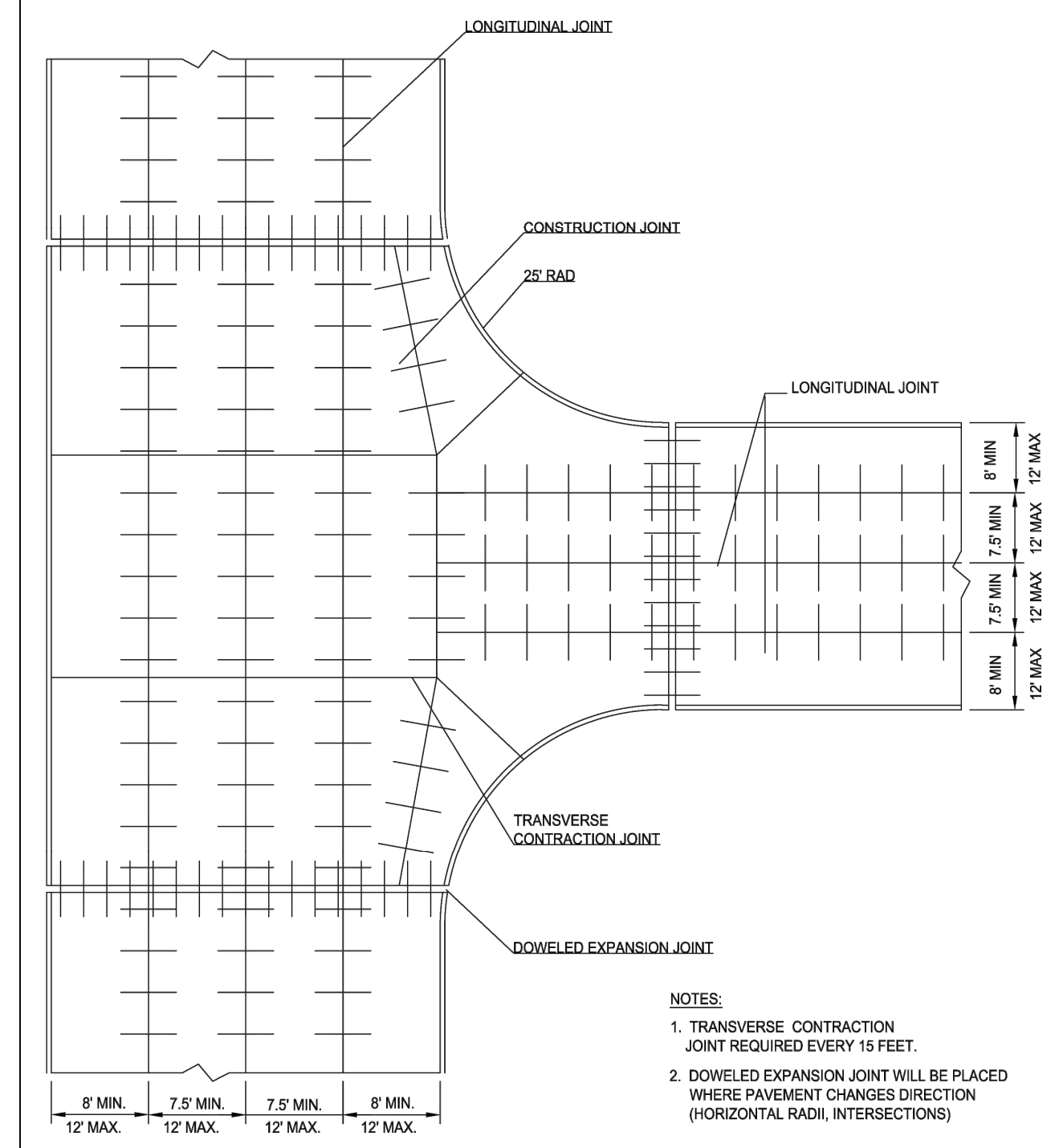


CITY OF ELDRIDGE  
CURB CROSS SECTION DETAIL  
Date: 3/20/17  
Detail Number: SD-27

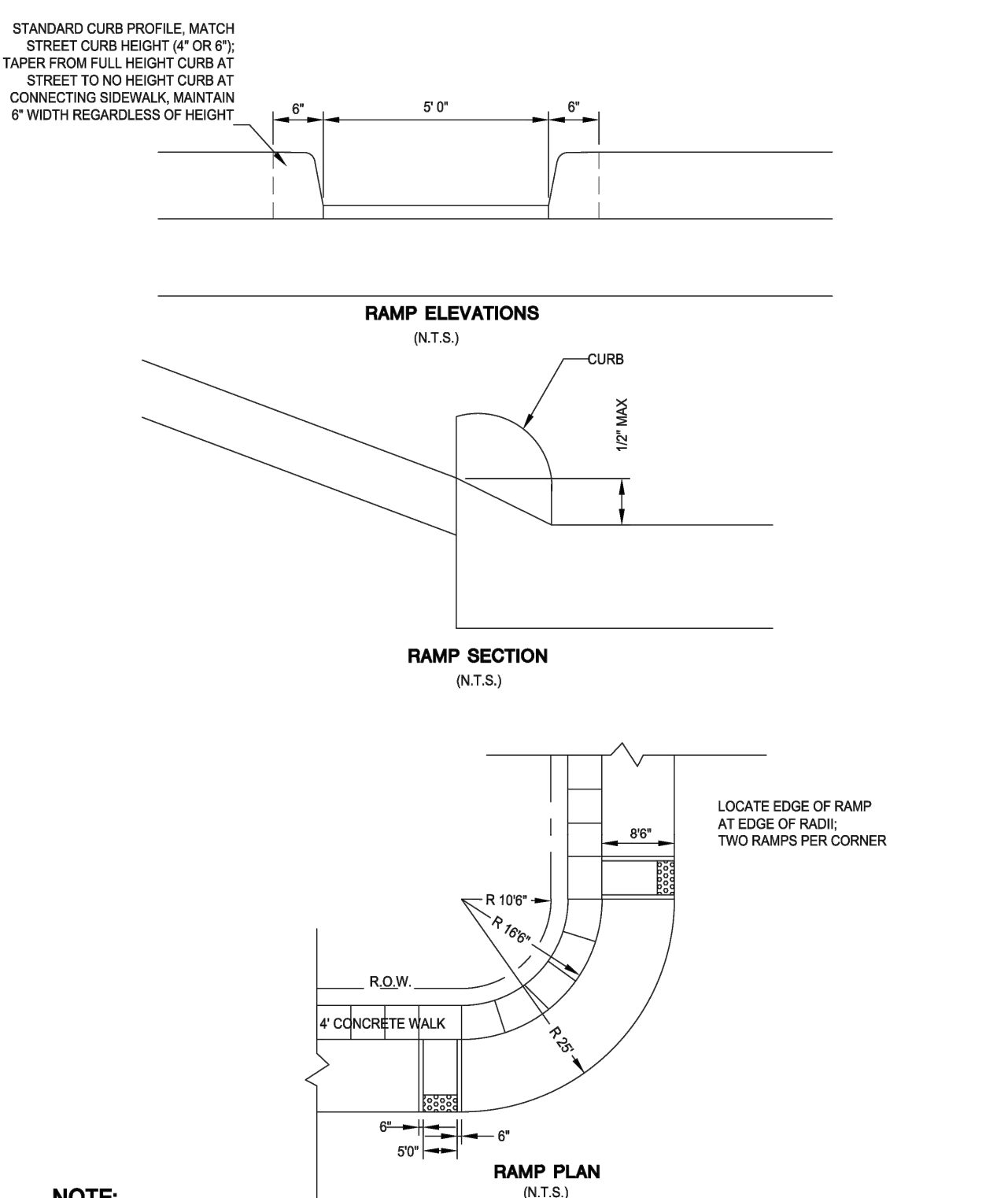
CITY OF ELDRIDGE  
RESIDENTIAL AND COMMERCIAL (FLARED) DRIVEWAY  
Date: 3/20/17  
Detail Number: SD-30



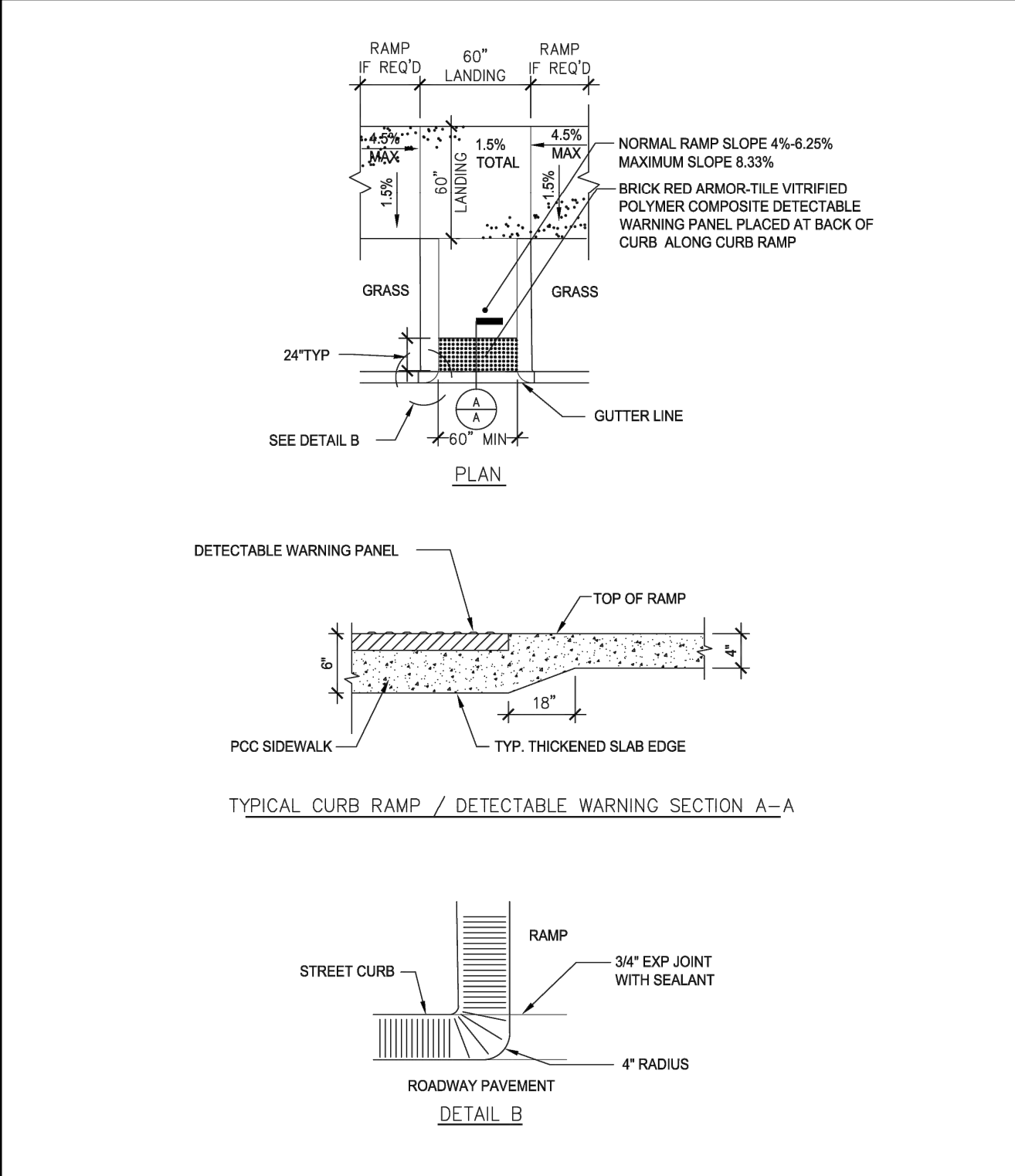
INTERSECTION DETAIL SOUTH 5TH PLACE & WEST BROOKVIEW DRIVE



CITY OF ELDRIDGE  
PAVEMENT JOINTS  
Date: 3/20/17  
Detail Number: SD-25



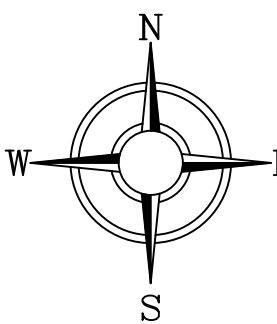
CITY OF ELDRIDGE  
STREET - SIDEWALK DETAIL  
Date: 3/20/17  
Detail Number: SD-28



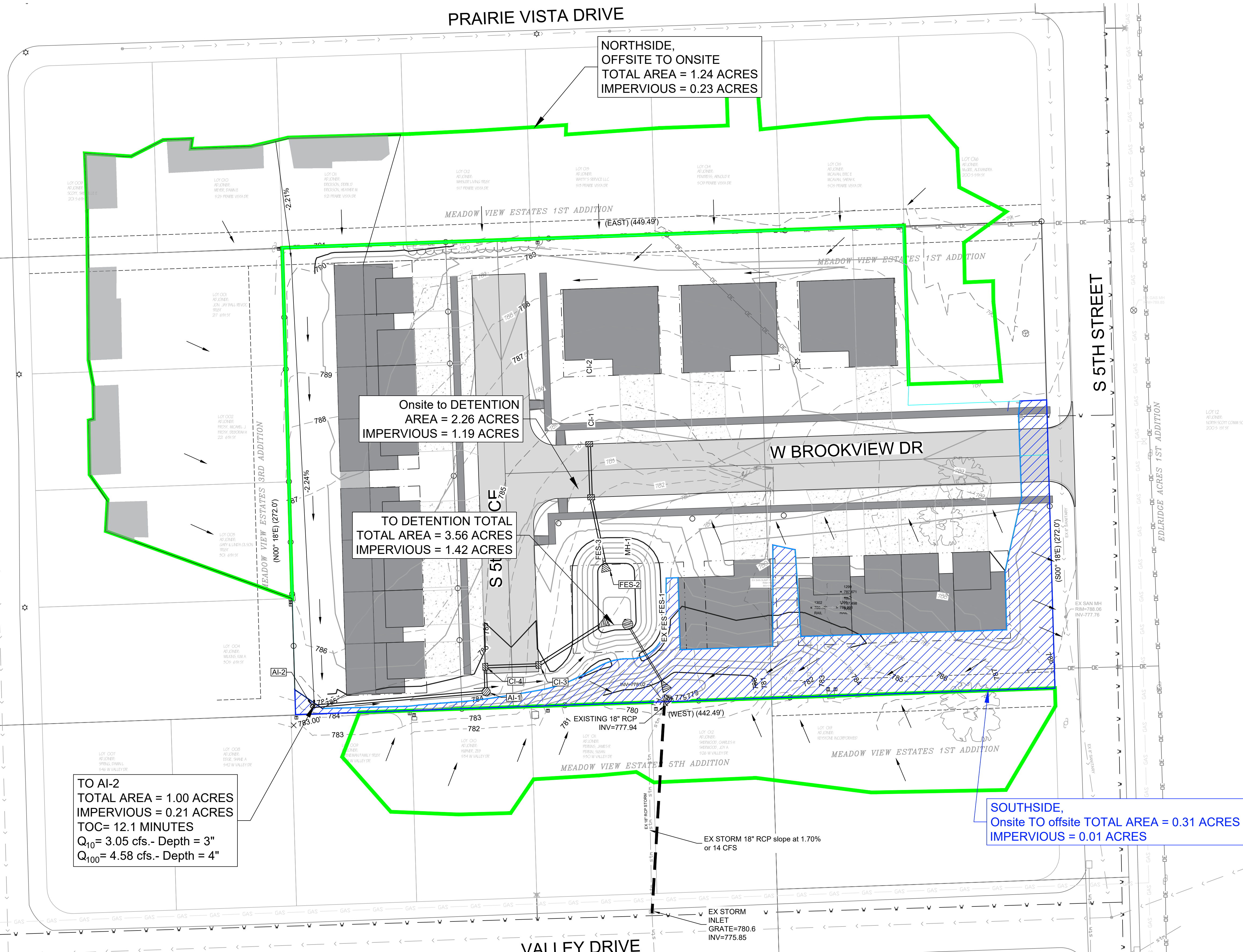
CITY OF ELDRIDGE  
PEDESTRIAN CURB RAMP WITH DETECTABLE WARNING PAVERS  
Date: 3/20/17  
Detail Number: SD-29

PROPOSED DRAINAGE PLAN  
**NORTH SCOTT SCHOOL DISTRICT**  
**LANCERS RUN**  
 TO THE CITY OF ELDRIDGE, IA

IOWA ONE CALL  
 800.292.6869  
 CALL BEFORE YOU DIG



GRAPHIC SCALE  
 30 0 15 30  
 ( IN FEET )  
 1" = 30' (24x36)



NORTHSIDE,  
 OFFSITE TO ONSITE  
 TOTAL AREA = 1.24 ACRES  
 IMPERVIOUS = 0.23 ACRES

Onsite to DETENTION  
 AREA = 2.26 ACRES  
 IMPERVIOUS = 1.19 ACRES

TO DETENTION TOTAL  
 TOTAL AREA = 3.56 ACRES  
 IMPERVIOUS = 1.42 ACRES

TO AI-2  
 TOTAL AREA = 1.00 ACRES  
 IMPERVIOUS = 0.21 ACRES  
 TOC= 12.1 MINUTES  
 $Q_{10} = 3.05 \text{ cfs.} - \text{Depth} = 3"$   
 $Q_{100} = 4.58 \text{ cfs.} - \text{Depth} = 4"$

SOUTHSIDE,  
 Onsite TO offsite TOTAL AREA = 0.31 ACRES  
 IMPERVIOUS = 0.01 ACRES



DATE: 1/9/2025  
 563 386.4236 office 386.4231 fax  
 2224 East 12th Street, Davenport, IA 52803

DRAWN BY: BJB  
 CHECKED BY: CRT  
 DRAWING LOCATION  
 S:\NORTH SCOTT SCHOOLS\5TH STREET SUBDIVISION

NO.	REVISIONS: DESCRIPTION	DATE

PROJECT PROPOSED DRAINAGE PLAN  
 LANCERS RUN  
 208 5TH STREET  
 ELDRIDGE, IA 52748

DEVELOPER NORTH SCOTT SCHOOL DISTRICT  
 200 S 1ST STREET  
 ELDRIDGE, IA 52748

SHEET NO.  
**R2**